



# NORTH BRANCH

## —Minnesota—

Nathan Ehalt  
Chair

Steve Cich  
Commissioner

Ross Otto  
Commissioner

Kelly Maurer  
Commissioner

Ross Otto  
Commissioner

Kelly Maurer  
Commissioner

**PLANNING COMMISSION  
REGULAR AGENDA  
TUESDAY, MAY 5, 2026 @ 6:30 PM  
CITY HALL, 6408 ELM STREET, NORTH  
BRANCH, MN 55056**

1. CALL TO ORDER

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

4. PUBLIC COMMENT

*Provides an opportunity for the public to address the Council on items that are not on the Agenda. Please raise your hand to be recognized. Please state your name and address for the record. This section is for the express purpose of addressing concerns of City services and operations. It shall not be used to clarify individual's views for political purposes.*

5. AGENDA APPROVAL

a. Approve Agenda

ACTION

6. CONSENT AGENDA

*All matters listed under Consent Agenda are considered routine and/or non-controversial and will be approved by one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which case the item will be removed from the Consent Agenda and considered in its normal sequence on the Agenda.*

a. Approval of April 7, 2026 Planning Commission minutes

ACTION

7. PUBLIC HEARINGS

a. Sherwood Pines 2nd Addition - Preliminary Plat and Variance

ACTION

- b. Rezoning and Comprehensive Plan Amendment - PID 11.00458.00 ACTION
- c. Westside Commons 3rd Addition - Preliminary Plat ACTION

8. REPORTS

- a. Side Setbacks in Residential Zoning Districts INFO
- b. Maximum Density - R3 Zoning INFO
- c. Design Standards INFO
- d. Accessory Dwelling Units (ADU's) INFO
- e. Comprehensive Plan Update INFO

9. NEXT MEETING - June 2, 2026; 6:30 P.M

10. ADJOURNMENT



**Prepared By: Tonya Kostuch, City Clerk**

**Presenter: Nathan Sondrol, Community Development Director**

**Date: 01/28/2026**

**Board & Commission: Planning Commission**

**Subject: Approval of April 7, 2026 Planning Commission minutes**

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Approval of April 7, 2026 Planning Commission minutes

**Voting Requirements:**

**Voting Options          Simple Majority**



# NORTH BRANCH

## —Minnesota—

Nathan Ehalt  
Chair

Steve Cich  
Commissioner

Ross Otto  
Commissioner

Kelly Maurer  
Commissioner

**PLANNING COMMISSION  
REGULAR AGENDA  
TUESDAY, APRIL 7, 2026 @ 6:30 PM  
CITY HALL, 6408 ELM STREET, NORTH  
BRANCH, MN 55056**

### MINUTES OF THE PROCEEDINGS OF THE CITY COUNCIL OF THE CITY OF NORTH BRANCH IN THE COUNTY OF CHISAGO AND IN THE STATE OF MINNESOTA

#### REGULAR MEETING

Tuesday, April 7, 2026

1. CALL TO ORDER

Chair Nathan Ehalt called the Planning Commission meeting to order at 6:30 PM.

2. PLEDGE OF ALLEGIANCE

Chair Nathan Ehalt led the Pledge of Allegiance.

3. ROLL CALL

**Present:** Commissioner Steve Cich, Commissioner Ross Otto, Commissioner Nate Ehalt, Commissioner Kelly Maurer

**Absent:**

**Remote:**

**Others Present:** Mayor Kevin Schieber

**Notes:**

4. PUBLIC COMMENT

*Provides an opportunity for the public to address the Council on items that are not on the Agenda. Please raise your hand to be recognized. Please state your name and address for the record. This section is for the express purpose of addressing concerns of City services and operations. It shall not be used to clarify individual's views for political purposes.*

5. AGENDA APPROVAL

a. Approve Agenda

**ACTION**

**RESULT:** Passed

**MOVER:** Steve Cich

**SECONDER:** Ross Otto

**AYES:** Steve Cich, Ross Otto, Nate Ehalt, Kelly Maurer

**ABSENT:**

**NOTES:**

6. CONSENT AGENDA

*All matters listed under Consent Agenda are considered routine and/or non-controversial and will be approved by one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which case the item will be removed from the Consent Agenda and considered in its normal sequence on the Agenda.*

a. Approval of March 4, 2026 Planning Commission Minutes ACTION

**RESULT:** **Passed**

**MOVER:** **Kelly Maurer**

**SECONDER:** **Steve Cich**

**AYES:** **Steve Cich, Ross Otto, Nate Ehalt, Kelly Maurer**

**ABSENT:**

**NOTES:**

7. PUBLIC HEARINGS

a. Sherwood Pines 2nd Addition Preliminary Plat ACTION

City Planner Ryan Saltis presented the Sherwood Pines 2nd Addition Preliminary Plat Public Hearing. The Sherwood Pines 2nd Addition Preliminary Plat Public Hearing will be postponed to the meeting on May 5, 2026.

Chair Nathan Ehalt opened the Sherwood Pines 2nd Addition Preliminary Public Hearing at 6:34 PM, if anyone who was present wanted to say something to the Commission. There wasn't anyone in attendance who wanted to comment. Chair Nathan Ehalt closed the Sherwood Pines 2nd Addition Preliminary Public Hearing at 6:34 PM.

Motion to postpone the Sherwood Pines 2nd Addition Preliminary Plat Public Hearing to the May 5th, 2026, Planning Commission meeting.

**RESULT:** **Passed**

**MOVER:** **Ross Otto**

**SECONDER:** **Kelly Maurer**

**AYES:** **Steve Cich, Ross Otto, Nate Ehalt, Kelly Maurer**

**ABSENT:**

**NOTES:**

b. Surfacing ACTION

City Planner Ryan Saltis presented the Surfacing Public Hearing. City staff have been reviewing provisions of the City Code to clarify sections that may be confusing or subject to varying interpretation. One section that has repeatedly arisen during discussions with developers and property owners is Section 66-855 (Surfacing), particularly regarding whether parking areas and driveways in commercial and industrial districts are required to be paved.

As currently written, Section 66-855 only establishes surfacing requirements for residential properties two (2.0) acres or smaller and does not clearly address surfacing standards for commercial or industrial zoned properties. This omission has resulted in uncertainty during project review and inconsistent expectations between applicants and the city.

Additionally, Section 66-856 (Drainage) requires poured-in-place concrete curbing for parking lots and access drives within commercial and industrial developments. The intent of this requirement assumes hard-surfaced parking areas; however, this relationship is not explicitly reflected in the surfacing section, creating potential conflicts in interpretation and enforcement.

During prior Planning Commission discussions, Commissioners expressed interest in maintaining neighborhood appearance and protecting public infrastructure while also allowing reasonable flexibility for residential properties, particularly for side or rear parking areas. At the February 3rd Planning Commission Meeting, surfacing locations for residential properties 2 acres and under were debated, and it was determined that it is appropriate to require hard-surfaced driveways and parking areas in the front yard, while allowing flexibility for gravel surfaces on the side yard.

At the March 7th Planning Commission Meeting, staff presented three options for text amendments that addressed driveways and parking surfaces in the front, side, and rear yard locations. The Planning Commission agreed that Option 1 was the preferred language to include in City Code. There was additional discussion about clarifying the impervious surface definition to clearly identify surface types. Proposed text amendment language to the definitions section of city code is found in the Analysis section of this report.

Motion to recommend/deny approval to the City Council:

- Text Amendment to City Code Sec 66-855 Surfacing establishing updated surfacing requirements for residential, commercial, and industrial properties.
- Text Amendment to City Code Sec 66-8 Definitions to include material types in the “impervious surface” definition

Chair Nathan Ehalt opened the Surfacing Public Hearing at 6:38 PM. There wasn't anyone in attendance who wanted to comment. Chair Nathan Ehalt closed the Surfacing Public Hearing at 6:38 PM.

Motion to approve Text Amendment to City Code Sec 66-855 Surfacing, establishing updated surfacing requirements for residential, commercial, and industrial properties, and approve Text Amendment to City Code Sec 66-8 Definitions to include material types in the “impervious surface” definition.

**RESULT:** Passed  
**MOVER:** Kelly Maurer  
**SECONDER:** Ross Otto  
**AYES:** Steve Cich, Ross Otto, Nate Ehalt, Kelly Maurer  
**ABSENT:**  
**NOTES:**

## 8. REPORTS

a. Farm Winery Discussion - Text Amendment or Rezoning INFO

City Planner Ryan Saltis presented the Farm Winery Discussion - Text Amendment or Rezoning. City staff has received a request for a proposed winery on a vacant parcel (PID 11.00458.00). The prospective owners intend to establish a small vineyard and winery operation on the site. The parcel is currently zoned RR – Rural Residential, where crop production is permitted; however, a Farm Winery is not an allowed use. Farm Wineries are permitted within the AG – Agricultural zoning district.

To accommodate the proposed use, two options are available for consideration. The first is to amend the permitted uses table to allow Farm Wineries as a Conditional Use within the RR district. This approach would require both a text amendment and subsequent review and approval of a Conditional Use Permit, including the establishment of specific standards for such operations. The second option is to rezone the parcel to AG, which would allow the winery use by right and enable the project to proceed more immediately. The applicants have also indicated plans to construct a barn to support vineyard and wine production activities. Agricultural structures of this type are permitted in the AG district. However, in the RR district, such a building would not be allowed without a principal residential structure on the property.

Staff is seeking Planning Commission discussion and direction on whether to pursue a rezoning of the parcel or a text amendment to the zoning code.

The applicants were present to answer any questions that the commission had. There was some discussion regarding the access to 95 and the driveway placement approval by the State. The applicants explain that if everything gets approved, they would probably start building this summer. It would be 16 acres with 10 of them planted. The Mayor brought up that traffic is a concern of his and that there may be something needs to be considered down the road if traffic increases.

City Planner Ryan Saltis will send a rezoning application to the applicants.

b. Accessory Dwelling Units (ADU's) INFO

City Planner Ryan Saltis presented the Accessory Dwelling Units (ADU's). Resident Ben Hedberg is requesting the City to adopt an Accessory Dwelling Unit (ADU) section within the City Code.

The City currently does not allow for ADU's. Section 66-898 "Accessory Buildings, Uses, and Equipment" addresses this with the following language:

(h) Detached garages and accessory buildings shall not include living space nor shall be used as a dwelling unit.

However, surrounding cities and counties have ADU ordinances in place.

Ben would like the opportunity to share the following information with the Planning Commission:

- Overview/Definition of Accessory Dwelling Units
- Purpose and Benefits of ADU's
- Drawbacks of ADU's
- Other City's experiences with ADU's
- Proposed Code Change

Staff is seeking Planning Commission discussion and direction.

Ben Hedberg was present and discussed his reason for the request, and also to answer any question that the commission had. Ben explained that an ADU is a secondary dwelling on a single property—often called a guest house, granny flat, or in-law suite. These can be attached (like a basement or garage apartment) or detached structures.

Historically, zoning rules from the 1950s discouraged multiple dwellings on one property. That policy still exists in North Branch today. However, attitudes have shifted—especially after the pandemic and the rise of housing alternatives like tiny homes and short-term rentals.

Many nearby communities, including Isanti County, have already adopted ADU policies. While our county allows ADUs, the city of North Branch does not—putting us behind current trends. Minnesota overall is very supportive of ADUs.

ADUs offer practical benefits:

- Housing options for young adults not ready to buy a home
- Space for aging parents or caregivers
- Opportunities for homeowners to generate rental income
- Increased housing availability during local events
- Additional tax revenue for the city

They also help people stay in the community longer by offering flexible living arrangements.

Concerns like parking and neighborhood impact can be addressed through clear policies. Other cities already require off-street parking and have straightforward application processes—we can learn from those models. Even our current comprehensive plan states that North Branch is open to considering ADUs. We don't need to wait for a new plan—we can act now. In short, ADUs provide more housing options, support residents at different life stages, and can be implemented responsibly with thoughtful guidelines.

Chair Nate Ehalt spoke, saying that he's a firm believer that if we can provide more opportunity for property rights and folks to be able to use their property in a more effective manner, we should also be considering this. Nate asked staff if we'd be able to circle back to this within the next 90 days or so to discuss further.

c. Zoning Ordinances and Building Design Standard Amendments

VERBAL  
UPDATE

Mayor Kevin Schieber presented the Zoning Ordinances and Building Design Standard Amendments. Following the last City Council meeting, several zoning and development-related topics were identified for further discussion. These include side yard setbacks, maximum density standards, design standards, and the Central Business District (CBD) boundary. The intent is to better understand Council priorities, community expectations, and the potential impacts of any changes.

1. Side Yard Setbacks

Currently, most residential developments require 6-foot side yard setbacks. The Council discussed the possibility of increasing this to 10 feet to create more space between homes.

The motivation behind this proposal is to:

- Preserve the small-town, rural character of the community
- Avoid the perception of homes being “stacked” too closely together
- Maintain a sense of openness that residents value

However, several considerations were raised:

- Increasing setbacks may reduce the number of buildable lots in a development
- This could increase housing costs and impact affordability

- Developers may face challenges redesigning projects already in progress

There was general agreement that even small changes (e.g., 4 additional feet) can have ripple effects on lot widths, home design, and overall development yield.

## 2. Maximum Density Standards

The Council is considering reinstating a previous standard (pre-2018) that capped R-3 zoning density at 18 dwelling units per acre.

Key goals include:

- Preventing overly large apartment complexes
- Maintaining a scale consistent with community character
- Supporting a balanced mix of housing types

At the same time, the group acknowledged:

- The need for additional housing, including apartments, due to low vacancy rates
- The importance of providing diverse and affordable housing options
- That density restrictions may limit the city's ability to support workforce growth and attract employers

This item was generally viewed as a high priority, with interest in acting within the next 30–60 days.

## 3. Design Standards

The Council discussed whether current design standards—such as requirements for brick, stone, or specific exterior materials—may be too restrictive.

Concerns raised:

- High material requirements can significantly increase construction costs
- Some businesses may choose to locate in other communities with less stringent standards
- New materials and construction methods (e.g., prefab panels) may offer cost-effective, durable alternatives

Suggested approach:

- Focus on performance and durability rather than prescribing specific materials
- Encourage architectural quality without overregulating
- Identify ways to reduce costs while maintaining long-term appearance and value

This was seen as an opportunity to support economic development while maintaining reasonable aesthetic expectations.

## 4. Central Business District (CBD) Boundary

There was discussion about potentially contracting the CBD boundary, rather than extending it further.

Key points:

- Some areas currently designated as CBD include existing residential homes with limited redevelopment potential
- Traffic and safety concerns (especially along Highway 95) may make further commercial expansion impractical
- The city may benefit from focusing investment in the core downtown area instead

An alternative concept was introduced:

- Create a transitional or mixed-use zone (e.g., “village district”)
- Allow existing homes to remain and be improved
- Permit small-scale businesses while maintaining neighborhood character

This item was considered a lower priority, but still important for long-term planning.

#### 5. Industrial / Business Zoning Flexibility

The Council also discussed whether certain business or industrial areas—particularly along the freeway—should allow:

- Expanded permitted uses
- More flexible zoning classifications (e.g., light industrial or mixed-use)

Considerations include:

- Avoiding overly restrictive zoning that limits economic opportunities
- Planning for future infrastructure changes (e.g., potential interchange development)
- Ensuring land is used for its highest and best long-term purpose

This remains an ongoing discussion with no immediate action proposed.

#### Key Themes from the Discussion

- Balance is critical: Growth is inevitable, but it should be managed in a way that reflects community values
- Community character matters: Many residents value space, openness, and a small-town feel
- Affordability and flexibility must be considered alongside regulation
- Over regulation vs. under regulation is a central tension, with differing perspectives among stakeholders
- Timing is important: Some changes may need to happen quickly to avoid conflicts with incoming development proposals

#### Next Steps

- Prioritize analysis of the first three items (setbacks, density, design standards)
- Continue discussion and aim for initial recommendations within 30–60 days
- Provide data on:
  - Potential lot loss and housing impacts from setback/density changes
  - Economic impacts of design standards (e.g., cost differences, lost projects)

d. Comprehensive Plan Update

INFO

City Planner Ryan Saltis introduced the Comprehensive Plan Update. The Comprehensive Plan Steering Committee requests that the Planning Commission review two specific sections of the 2018 Comprehensive Plan:

Section 2: Values and Vision (all groups will review this section)

Section 3: Land Use and Growth

Your focused review is vital as we move toward the final revision of the plan. This should include a thorough overview of the current language, and listing any changes that the group feel necessary due to the changes and growth of the City.

The committee met on February 18 and March 18 and discussed the following items:

- Urban Service Area Boundary
- Types of Housing/Demand
- ADU's: Where are they acceptable and identified a Goal for placing regulations
- Short Term Housing
- Redevelop and Repurpose opportune areas
- CBD is emphasized for only holding .18% of the total land in the city
- Analyze planned transportation routes and review zoning accordingly
- Update acreages, numbers, facts, and data within Comp Plan
- Ecological Preservation
- Goal: Design Standards

The next meeting is scheduled for Wednesday, April 15, at 6 pm at City Hall.

April 15 2026: Housing, Transportation, Utilities, Public Safety -

May 2026: Presentation of the Comprehensive Plan review results to the Planning Commission for public hearing and consideration, and Council approval in June.

9. NEXT MEETING - May 5, 2026, 6:30PM

10. ADJOURNMENT

The Planning Commission meeting adjourned at 8:23 PM.

**RESULT:**            **Passed**  
**MOVER:**            **Steve Cich**  
**SECONDER:**       **Kelly Maurer**  
**AYES:**              **Steve Cich, Ross Otto, Nate Ehalt, Kelly Maurer**

**ABSENT:**  
**NOTES:**



**Prepared By: Ryan Saltis, City Planner**

**Presenter: Ryan Saltis, City Planner**

**Date: 04/30/2026**

**Board & Commission: Planning Commission**

**Subject: Sherwood Pines 2nd Addition - Preliminary Plat and Variance**

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Make Properties LLC. (Applicant) has submitted a request for Preliminary Plat and Variance approval for a new residential subdivision known as Sherwood Pines Second Addition, located generally to the east of 417th Street and Flink Avenue. The variance request is due to the inability to meet the required 300 foot lot depths for Lots 1-4 of Block 1 and Lots 1-3 of Block 2 based on the unique parcel boundaries and engineering standards for the internal roadway.

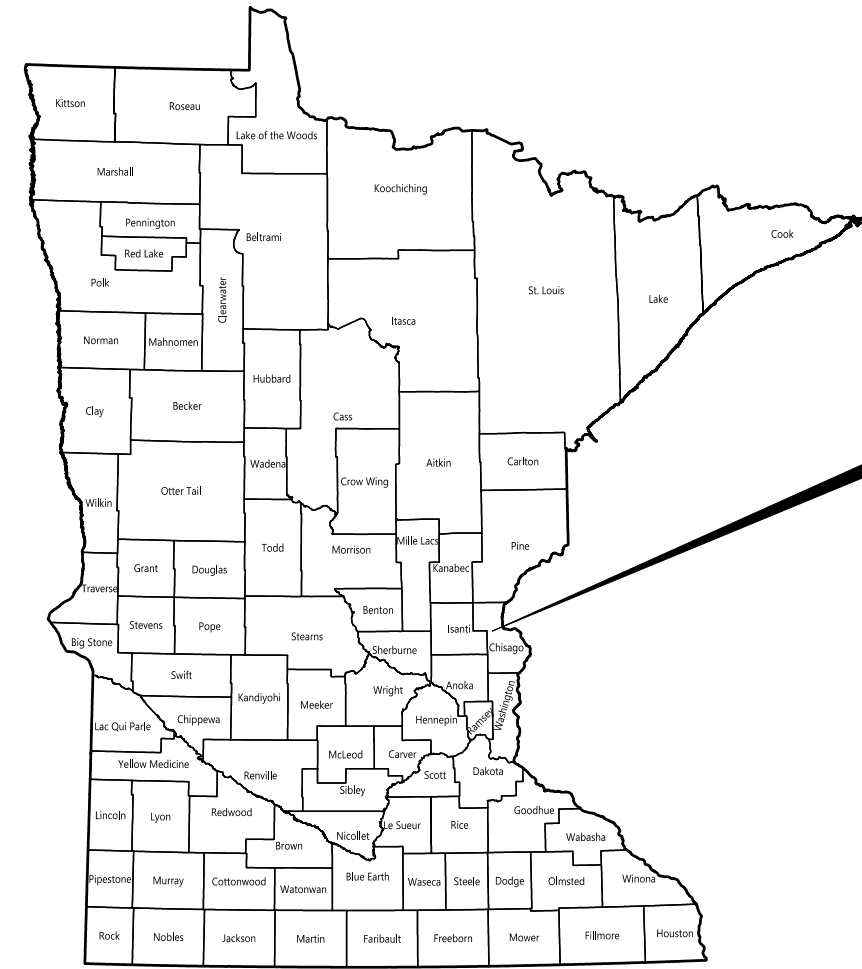
The undeveloped Subject Property consists of approximately 30.11 acres and is guided and zoned for Rural-Residential. The Preliminary Plat proposes the creation of 17 single-family residential lots (each exceeding 1 acre in lot size), organized into 2 blocks and 1 outlot. The development includes new public roadway infrastructure, stormwater management features, and individual well and septic systems. Access to the subdivision is provided via Flink Ave and includes an internal roadway and cul-de-sac.

**Voting Requirements:**

**Voting Options          Simple Majority**

# SHERWOOD PINES SECOND ADDITION

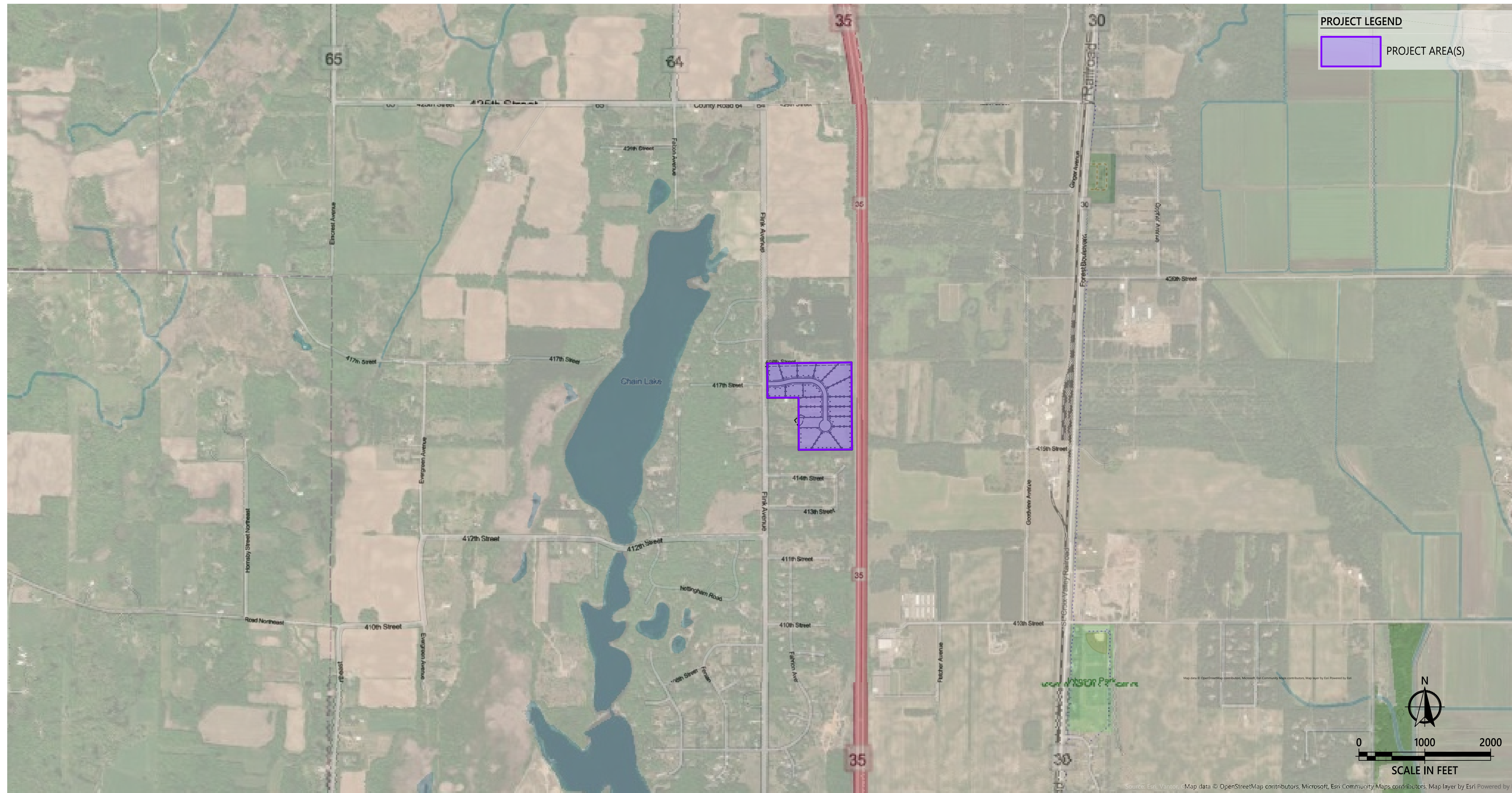
CHISAGO COUNTY  
MARCH, 2026



**PROJECT LOCATION**  
NORTH BRANCH, CHISAGO COUNTY

GOVERNING SPECIFICATIONS
THE 2025 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" SHALL GOVERN.

INDEX TO DRAWINGS	
SHEET NO.	DESCRIPTION
C1.00	TITLE SHEET
C1.10	LEGEND
C2.00 - C2.01	DETAILS
C3.00	EXISTING CONDITIONS & REMOVALS
C4.00	SITE PLAN
C5.00 - C5.02	GRADING & EROSION CONTROL PLAN
C6.00 - C6.02	SWPPP
C7.00 - C7.02	PLAN & PROFILE
L1.00	LANDSCAPE PLAN



MAP SOURCE & YEAR: [YEAR] [MAP SOURCE]  
MAP DESCRIPTION: [DESCRIPTION OF MAP, I.E. PARTIAL MAP OF BAXTER, CROW WING COUNTY, MINNESOTA]

THIS PLAN SET CONTAINS COLOR GRAPHICS. BLACK AND WHITE PRINTS ARE NOT OFFICIAL SIGNED DOCUMENTS.



DRAWN BY:  
JSW  
CHECKED BY:  
CM

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
**PRELIMINARY**  
CHARLIE MELCHER LIC. NO.: ----- DATE: MM/DD/YYYY

DATE	REV#	REVISIONS DESCRIPTION

SHERWOOD PINES SECOND ADDITION

TITLE SHEET

C1.00

PROJECT #: 2026-10288

© 2026 WIDSETH ARCHITECTS, ENGINEERS, SCIENTISTS & SURVEYORS. PROJECT: MAKE PROPERTIES, LLC - 48127A, 2026-10288, 04 DESIGN/CIVIL/CADD/C-1-G-2026-10288.DWG - PLOTTED BY: JACKSON BEERT, March 9, 2026

**SURVEY MONUMENTS - FOUND**

- FOUND CAST IRON MONUMENT
- FOUND CONTROL POINT
- FOUND IRON PIPE
- FOUND JUDICIAL LAND MONUMENT
- FOUND LATH

**SURVEY MONUMENTS - STAKED**

- BENCHMARK
- STAKED CAST IRON MONUMENT
- STAKED CONTROL POINT
- STAKED IRON PIPE
- STAKED JUDICIAL LAND MONUMENT

**PROPERTY LINEWORK**

- SECTION LINE
- QUARTER SECTION LINE
- QUARTER QUARTER SECTION LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- DESCRIPTION LINE
- DEEDED LOT LINE
- PLATTED LOT LINE
- BOUNDARY LINE
- SUBDIVISION LINE
- SETBACK LINE

**TOPOGRAPHIC INFORMATION - EXISTING**

- 1230 MAJOR CONTOURS
- 1234- MINOR CONTOURS
- + 1234.56 SPOT ELEVATION

**TOPOGRAPHIC INFORMATION - PROPOSED**

- 1230 MAJOR CONTOURS (WITH LABEL)
- 1234- MINOR CONTOURS (WITH LABEL)
- 1234.56 SPOT ELEVATION
- + -1.23% SLOPE - PERCENT
- 1:2 SLOPE - RISE : RUN
- TBC: 1234.56  
FLW: 1234.06 SPOT ELEVATIONS @ CURB (TBC: TOP BACK CURB / FLW: CURB FLOWLINE)
- +1.23, -3.21 SPOT ELEVATIONS, CUT/FILL (GREEN: FILL DEPTH / RED: CUT DEPTH)

**VEGETATION SYMBOLS - EXISTING**

- SHRUB
- STUMP
- TREE - CONIFEROUS
- TREE - DECIDUOUS
- WETLAND

**VEGETATION LINEWORK - EXISTING**

- EDGE OF WOODS
- EDGE OF WETLANDS

**VEGETATION SYMBOLS - PROPOSED**

- SHRUB
- TREE - CONIFER
- TREE - DECIDUOUS

**VEGETATION LINEWORK - PROPOSED**

- EDGE OF WOODS

**ROADWAY/PAVEMENT LINEWORK - EXISTING**

- BITUMINOUS SURFACE
- CONCRETE SURFACE
- CURB & GUTTER
- GRAVEL SURFACE
- ROADWAY/DRIVE/TRAIL CENTERLINE

**ROADWAY/PAVEMENT LINEWORK - PROPOSED**

- BITUMINOUS SURFACE
- CONCRETE SURFACE
- CURB & GUTTER
- GRAVEL SURFACE
- ROADWAY/DRIVE/TRAIL CENTERLINE

**SITE SYMBOLS - EXISTING**

- FENCE POST
- FLAG POLE
- GUARD POST (BOLLARD)
- GUY POLE
- GUY WIRE ANCHOR
- ACCESSIBLE PARKING MARKING
- MAILBOX
- SIGN - DOUBLE POST
- SIGN - SINGLE
- SIGN - FIRE #

**SITE LINEWORK - EXISTING**

- BUILDING
- BARB WIRE FENCE
- CHAINLINK FENCE
- WOOD FENCE
- RAILROAD
- RETAINING WALL

**SITE SYMBOLS - PROPOSED**

- FENCE POST
- FLAG POLE
- GUARD POST (BOLLARD)
- GUY POLE
- GUY WIRE ANCHOR
- MAILBOX
- SIGN - DOUBLE POST
- SIGN - FIRE #
- SIGN - SINGLE

**SITE LINEWORK - PROPOSED**

- BUILDING
- FENCE - BARB WIRE
- FENCE - CHAINLINK
- FENCE - WOOD
- RETAINING WALL

**COMMUNICATION/TELECOM UTILITY SYMBOLS - EXISTING**

- TELECOM HANDHOLE
- TELECOM MANHOLE
- TELECOM PEDESTAL
- TELECOM POLE
- TV HANDHOLE
- TV PEDESTAL
- SATELLITE DISH

**COMMUNICATION/TELECOM UTILITY LINEWORK - EXISTING**

- UNDERGROUND FIBER OPTIC LINE
- OVERHEAD TELEPHONE LINE
- UNDERGROUND TELEPHONE LINE
- OVERHEAD TV LINE
- UNDERGROUND TV LINE

**COMMUNICATION/TELECOM UTILITY SYMBOLS - PROPOSED**

- TELECOM HANDHOLE
- TELECOM MANHOLE
- TELECOM PEDESTAL
- TELECOM POLE
- TV HANDHOLE
- TV PEDESTAL
- SATELLITE DISH

**COMMUNICATION/TELECOM UTILITY LINEWORK - PROPOSED**

- UNDERGROUND FIBER OPTIC LINE
- UNDERGROUND TELEPHONE LINE
- OVERHEAD TV LINE
- UNDERGROUND TV LINE

**ELECTRICAL UTILITY SYMBOLS - EXISTING**

- AC UNIT
- GENERATOR
- GROUND LIGHT (FLOODLIGHT)
- ELECTRIC HANDHOLE
- LIGHT POLE
- ELECTRIC MANHOLE
- ELECTRIC METER
- ELECTRIC PEDESTAL
- ELECTRIC POLE
- TRAFFIC SIGNAL
- TRANSFORMER
- YARD LIGHT

**ELECTRICAL UTILITY LINEWORK - EXISTING**

- OVERHEAD ELECTRIC LINE
- UNDERGROUND ELECTRIC LINE

**ELECTRICAL UTILITY SYMBOLS - PROPOSED**

- AC UNIT
- GENERATOR
- GROUND LIGHT (FLOODLIGHT)
- ELECTRIC HANDHOLE
- LIGHT POLE
- ELECTRIC MANHOLE
- ELECTRIC METER
- ELECTRIC PEDESTAL
- ELECTRIC POLE
- TRAFFIC SIGNAL
- TRANSFORMER
- YARD LIGHT

**ELECTRICAL UTILITY LINEWORK - PROPOSED**

- OVERHEAD ELECTRIC LINE
- UNDERGROUND ELECTRIC LINE

**NATURAL GAS UTILITY SYMBOLS - EXISTING**

- NATURAL GAS METER
- NATURAL GAS VALVE
- PROPANE TANK

**NATURAL GAS UTILITY LINEWORK - EXISTING**

- NATURAL GAS LINE

**NATURAL GAS UTILITY SYMBOLS - PROPOSED**

- NATURAL GAS METER
- NATURAL GAS VALVE
- PROPANE TANK

**NATURAL GAS UTILITY LINEWORK - PROPOSED**

- NATURAL GAS LINE

**SANITARY SEWER SYMBOLS - EXISTING**

- SANITARY AIR RELEASE MANHOLE
- SANITARY CLEANOUT
- LIFT STATION WET WELL
- LIFT STATION VALVE VAULT
- SANITARY MANHOLE
- SANITARY VALVE (FORCEMAIN)

**SANITARY SEWER LINEWORK - EXISTING**

- SANITARY FORCE MAIN
- SANITARY GRAVITY MAIN
- SANITARY SERVICE LINE

**SANITARY SEWER SYMBOLS - PROPOSED**

- SANITARY AIR RELEASE MANHOLE
- SANITARY CLEANOUT
- LIFT STATION WET WELL
- LIFT STATION VALVE VAULT
- SANITARY MANHOLE
- SANITARY VALVE (FORCEMAIN)

**SANITARY SEWER LINEWORK - PROPOSED**

- SANITARY FORCE MAIN
- SANITARY GRAVITY MAIN
- SANITARY SERVICE LINE

**STORM SEWER SYMBOLS - EXISTING**

- STORM SEWER CATCH BASIN
- STORM SEWER CLEANOUT
- CULVERT APRON
- STORM SEWER INLET STRUCTURE
- STORM SEWER MANHOLE

**STORM SEWER LINEWORK - EXISTING**

- STORM SEWER GRAVITY MAIN
- STORM SEWER DRAINTILE

**STORM SEWER SYMBOLS - PROPOSED**

- STORM SEWER CATCH BASIN
- STORM SEWER CLEANOUT
- STORM SEWER INLET STRUCTURE
- STORM SEWER MANHOLE

**STORM SEWER LINEWORK - PROPOSED**

- STORM SEWER GRAVITY MAIN
- STORM SEWER DRAINTILE

**WATER SYMBOLS - EXISTING**

- CURB STOP
- WATER HANDHOLE
- FIRE HYDRANT
- YARD HYDRANT
- WATER MANHOLE
- WATER METER
- WATER MAIN VALVE
- WATER WELL

**WATER LINEWORK - EXISTING**

- WATER MAIN LINE
- WATER SERVICE LINE

**WATER SYMBOLS - PROPOSED**

- CURB STOP
- HANDHOLE
- HYDRANT
- YARD HYDRANT
- MANHOLE
- WATER METER
- WATER MAIN VALVE
- WATER WELL

**WATER LINEWORK - PROPOSED**

- WATER MAIN PIPE
- WATER SERVICE PIPE



DRAWN BY:  
JSW  
CHECKED BY:  
CM

CHARLIE MELCHER LIC. NO.: ---- DATE: MM/DD/YYYY

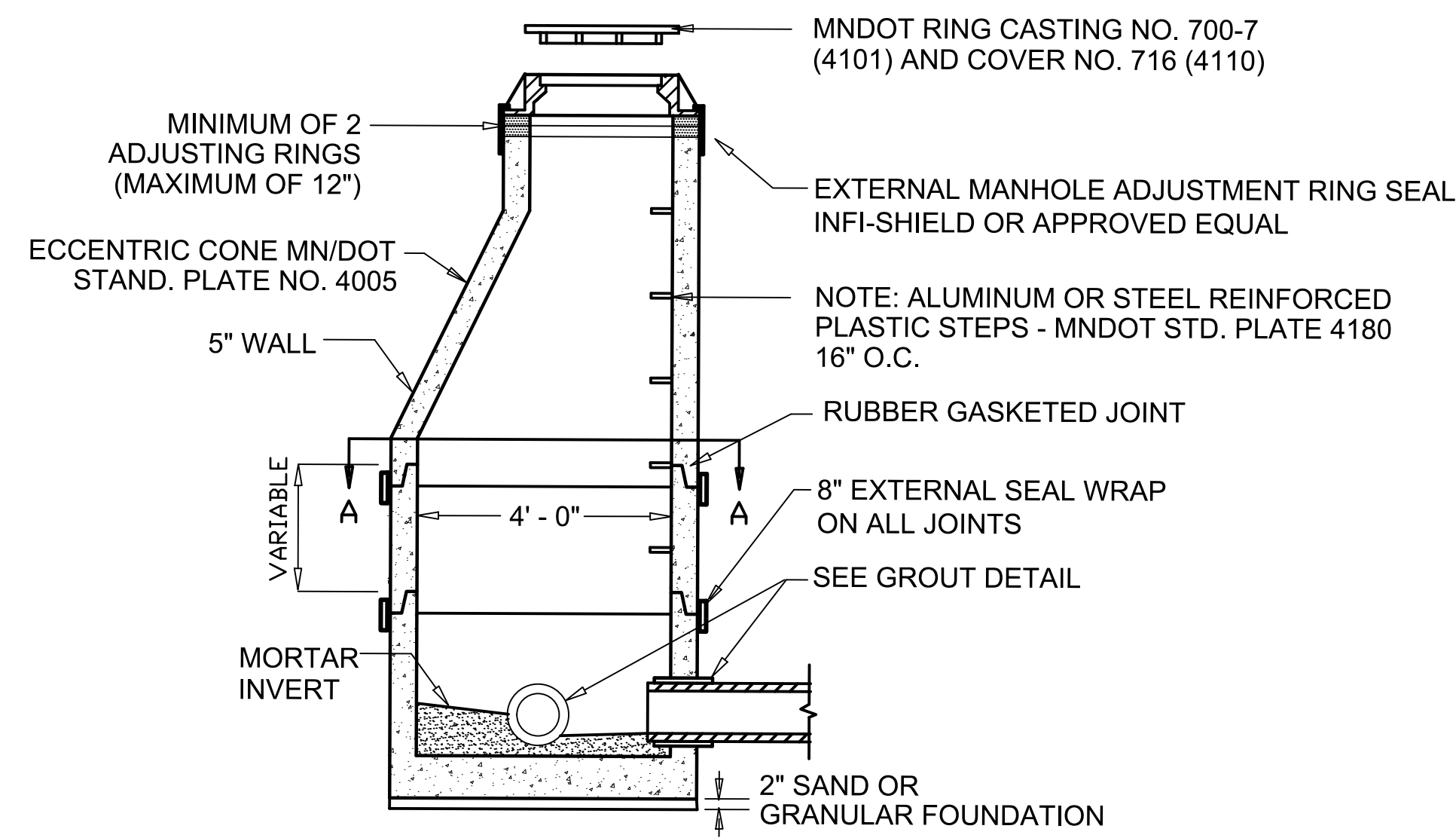
DATE	REV#	REVISIONS DESCRIPTION

**SHERWOOD PINES SECOND ADDITION**

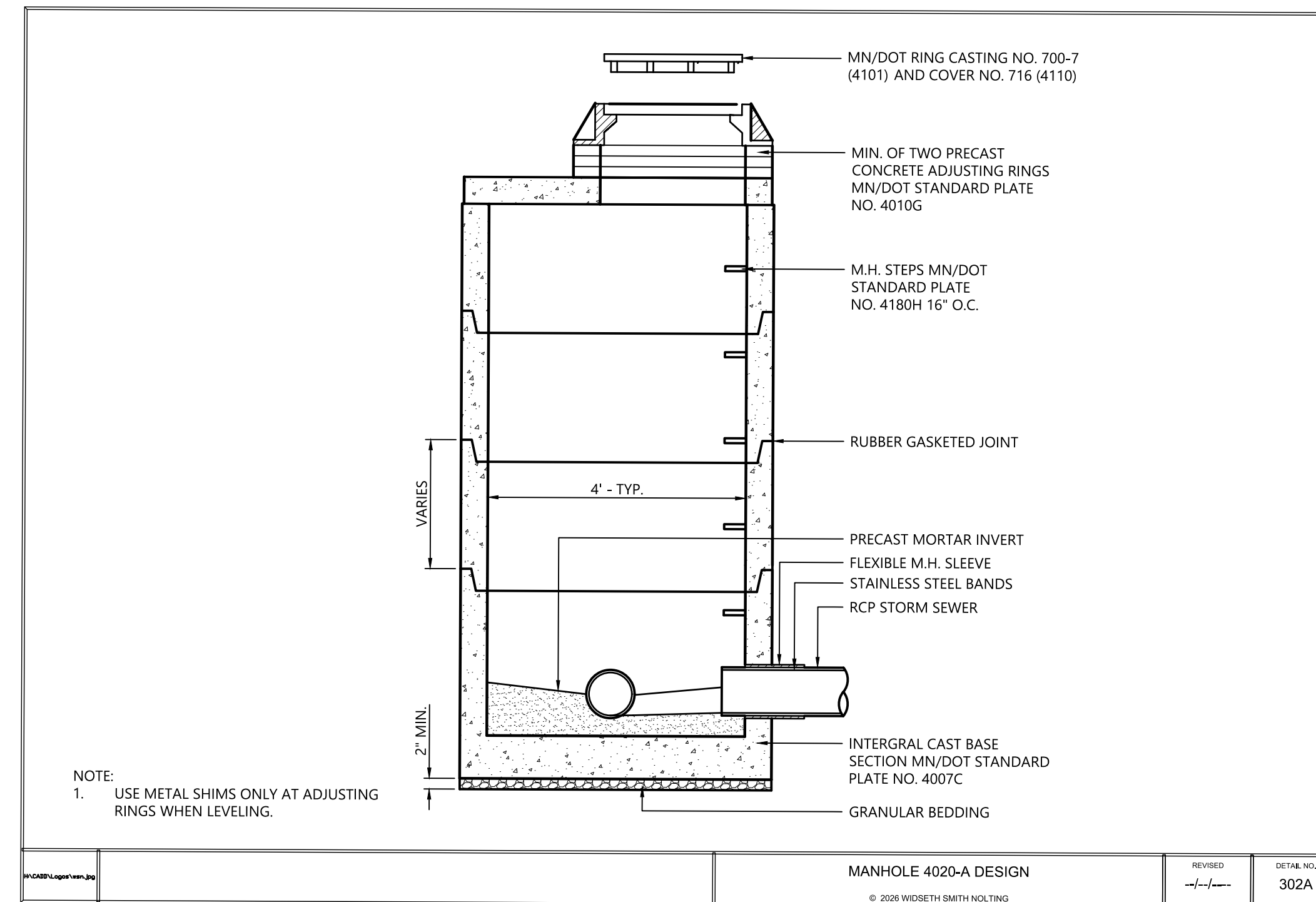
**LEGEND**

**C1.10**

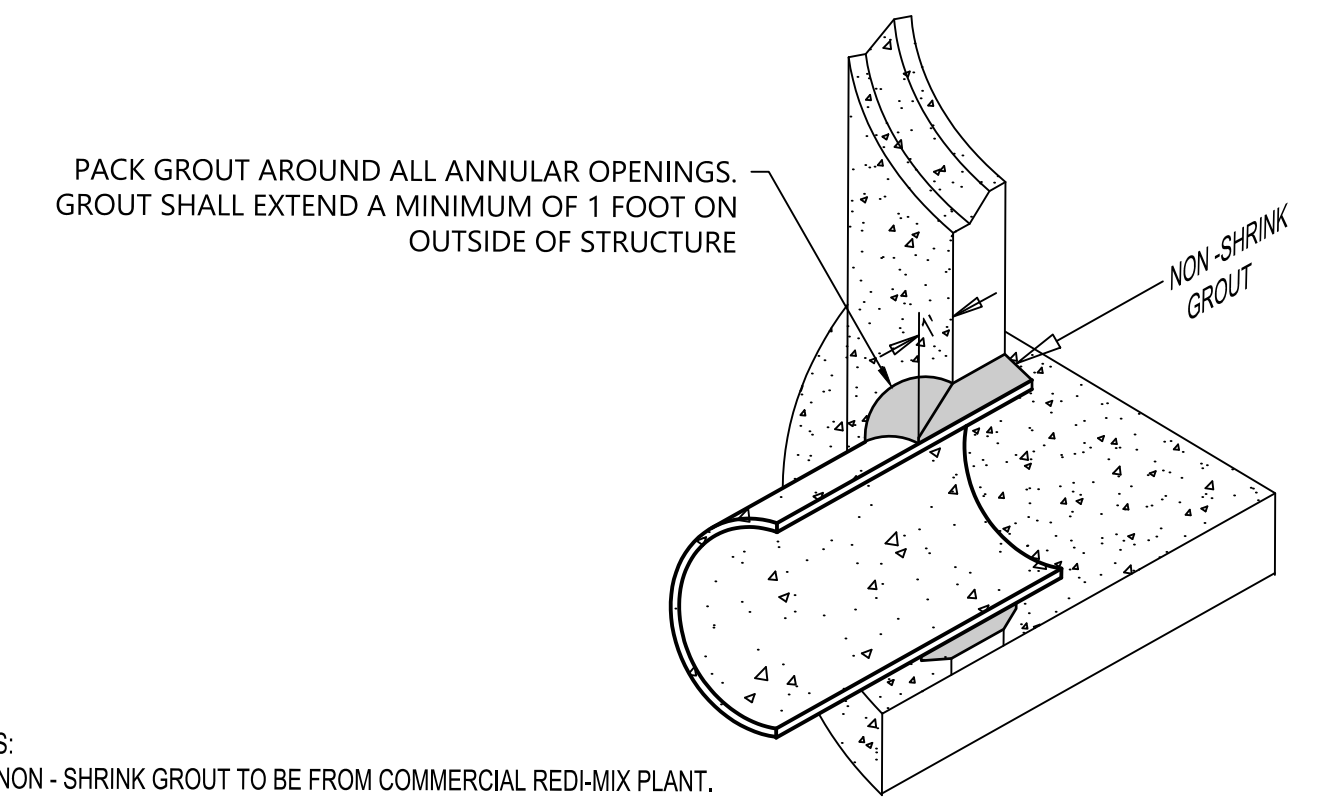
PROJECT #: 2026-10288



STORM MANHOLE DETAIL - DRAINAGE STRUCTURE DES 4007  
NO SCALE

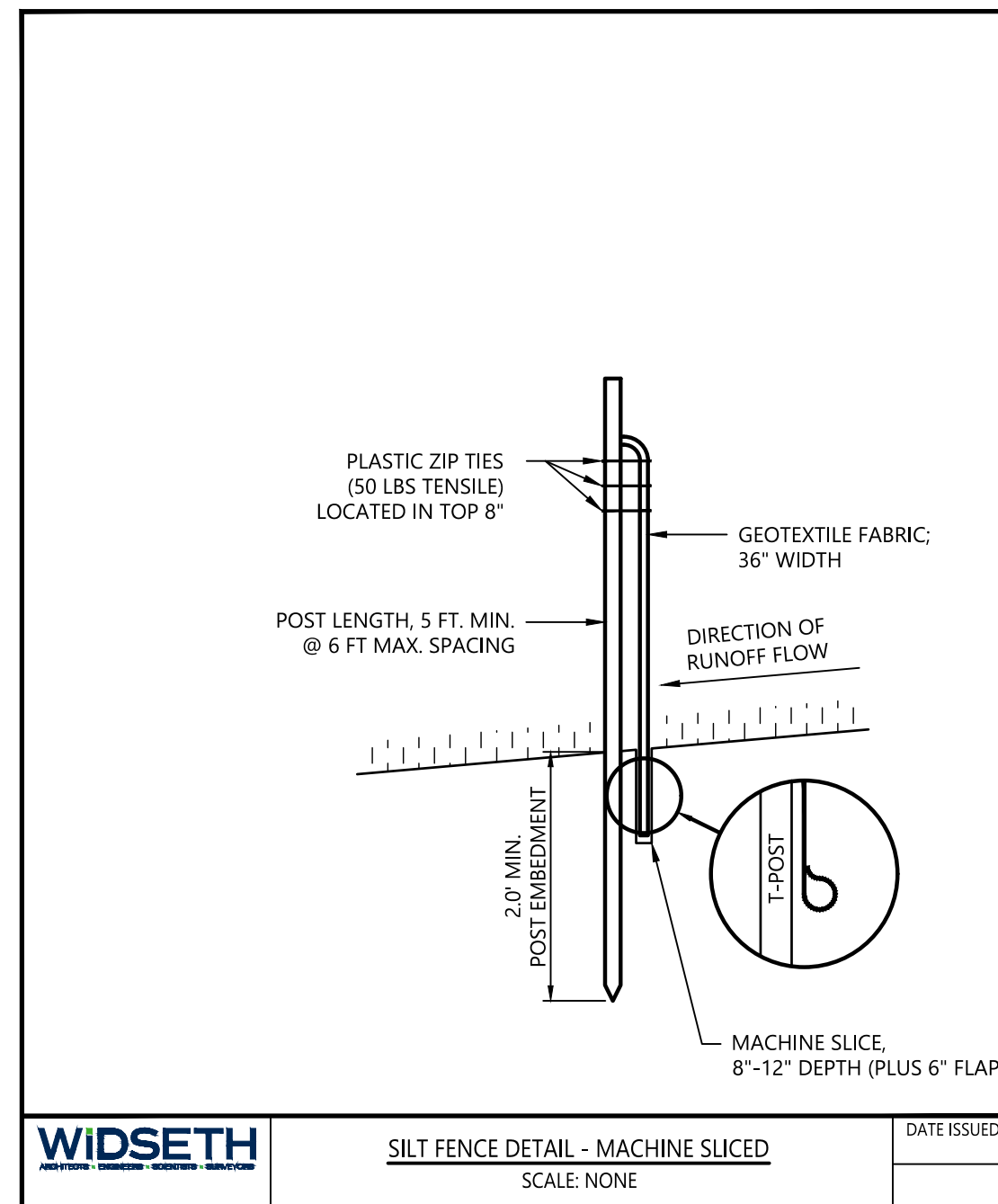


MANHOLE 4020-A DESIGN  
© 2026 WIDSETH SMITH MCL TENG

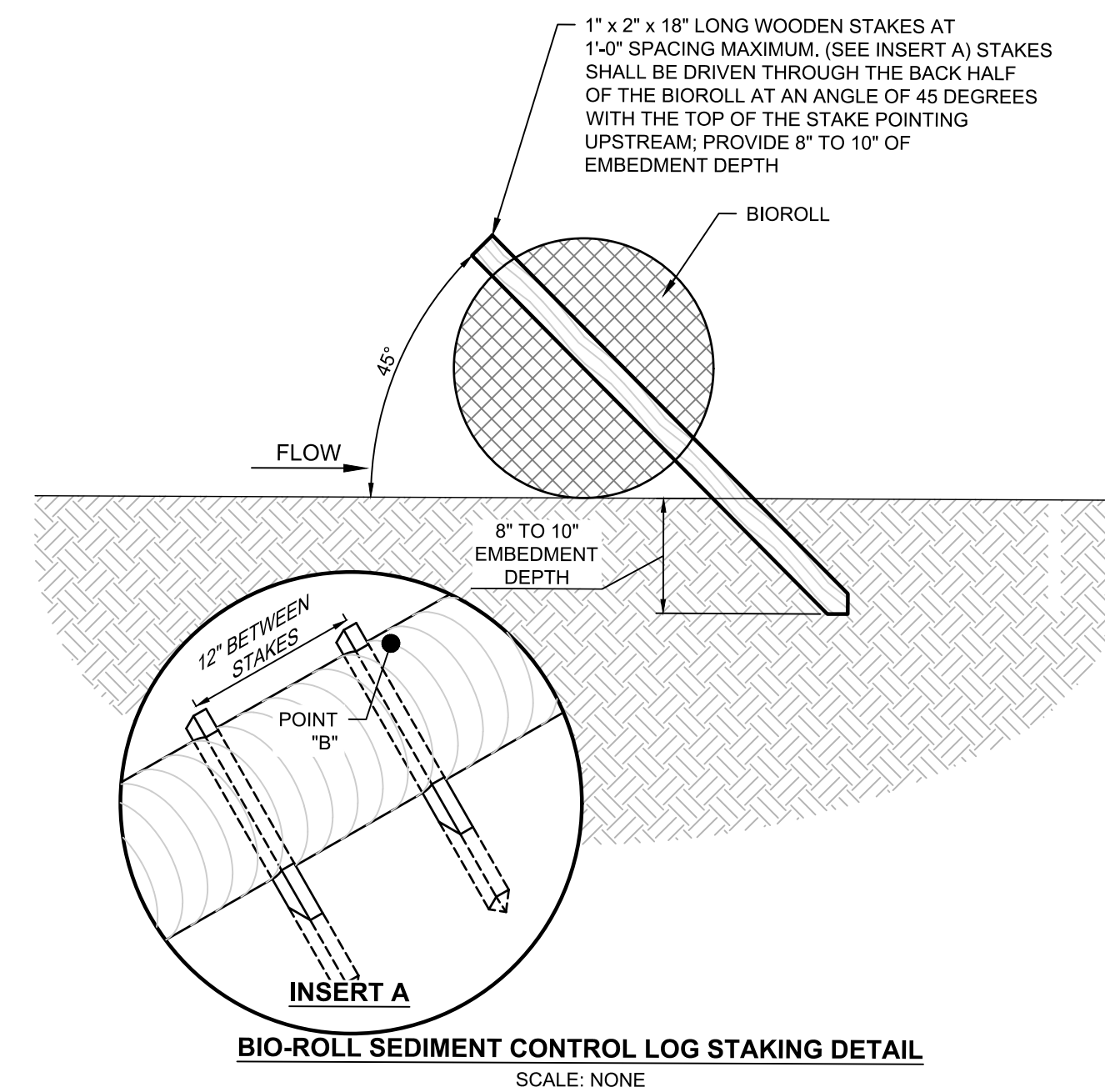


NOTES:  
1. NON-SHRINK GROUT TO BE FROM COMMERCIAL RED-MIX PLANT.

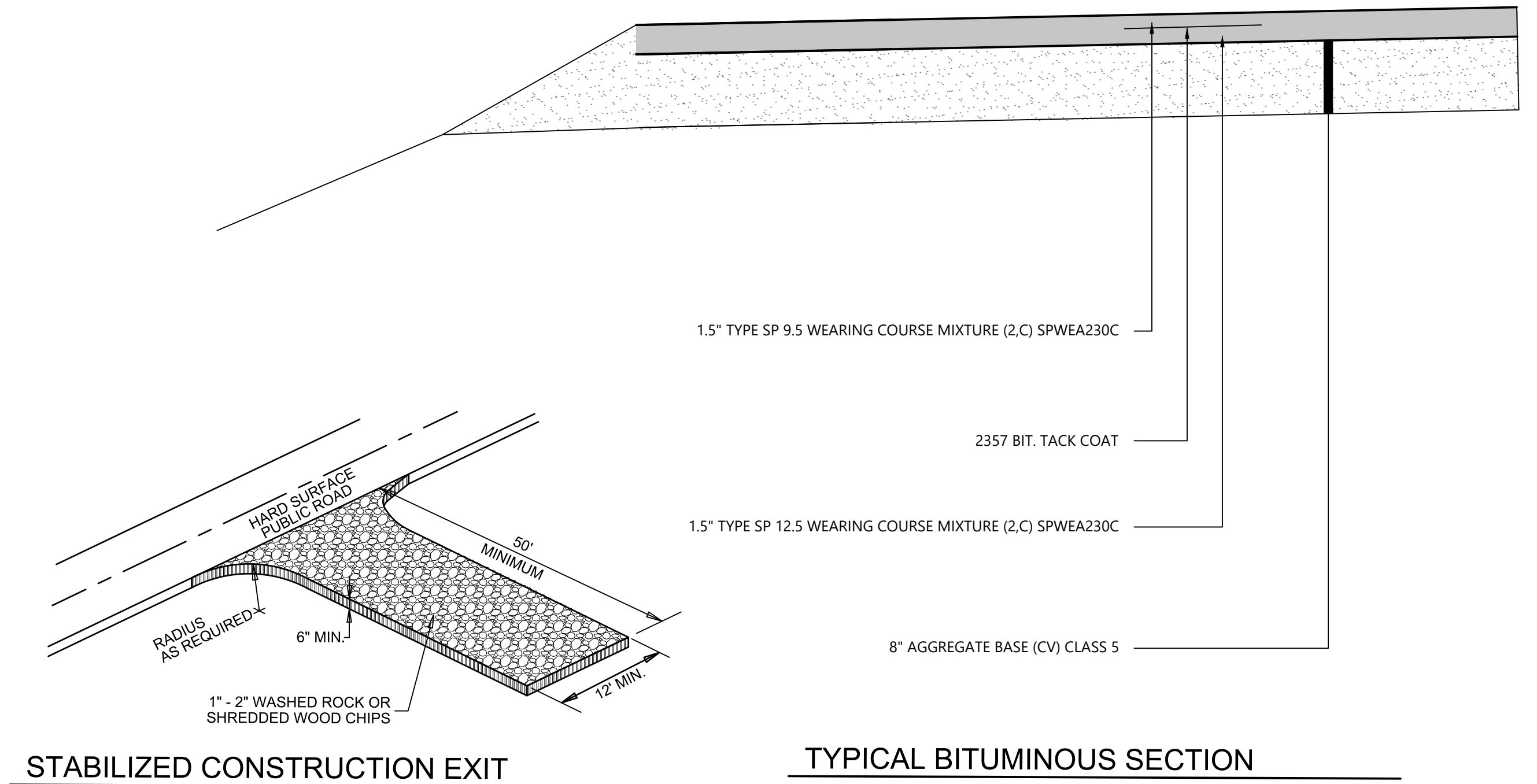
PIPE GROUTING DETAIL  
NO SCALE



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SILT FENCE DETAIL - MACHINE SLICED  
SCALE: NONE

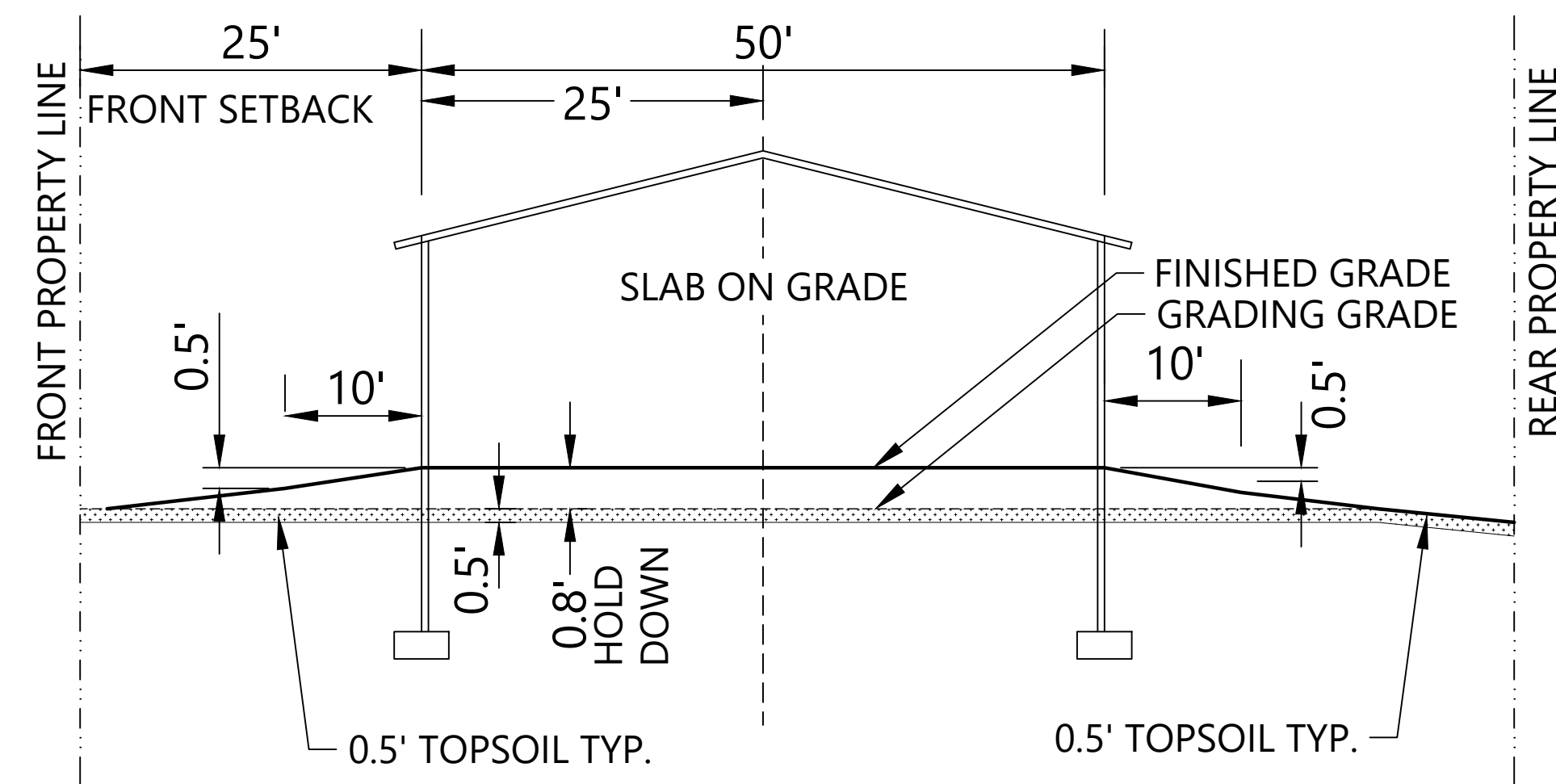
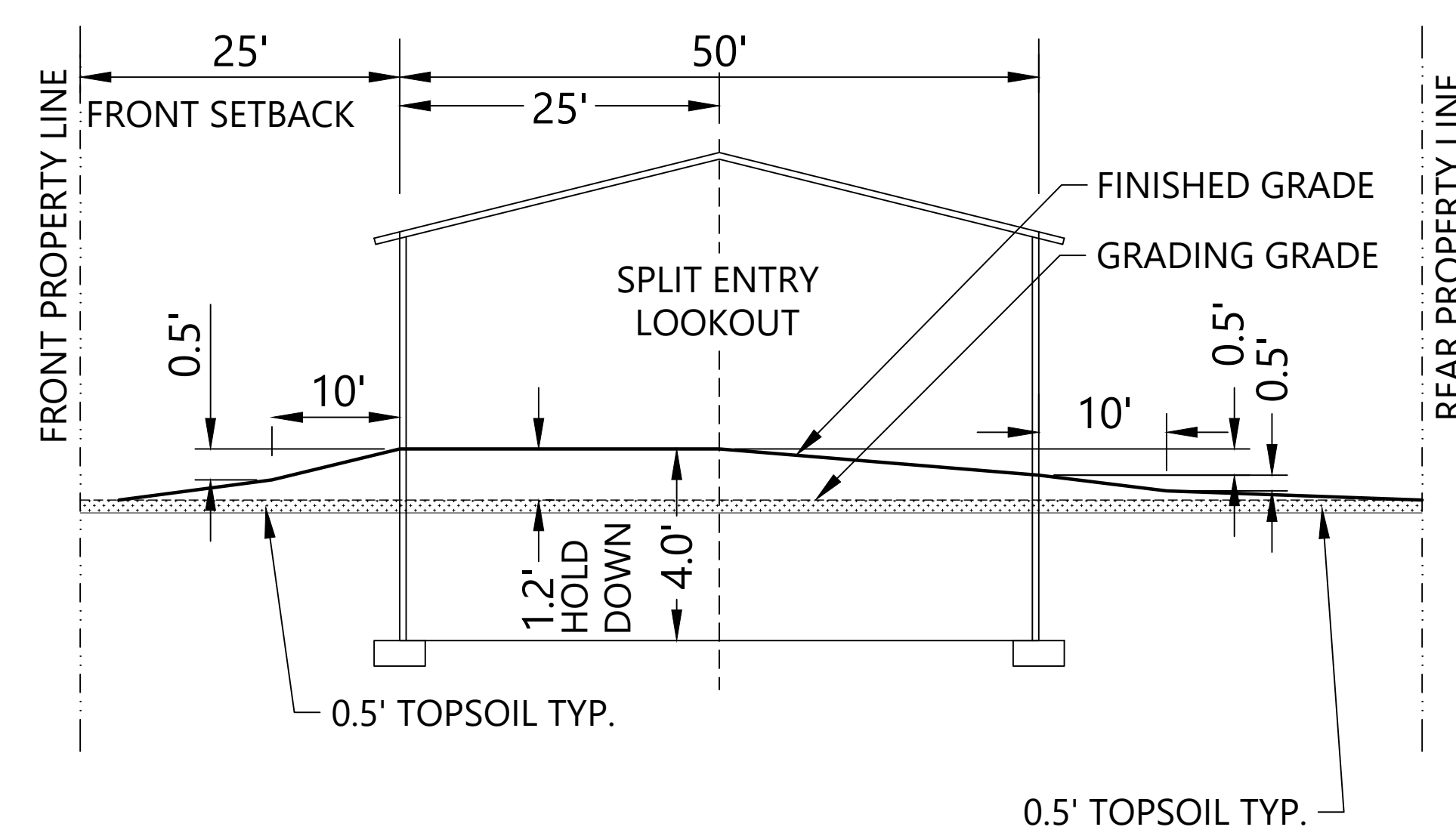
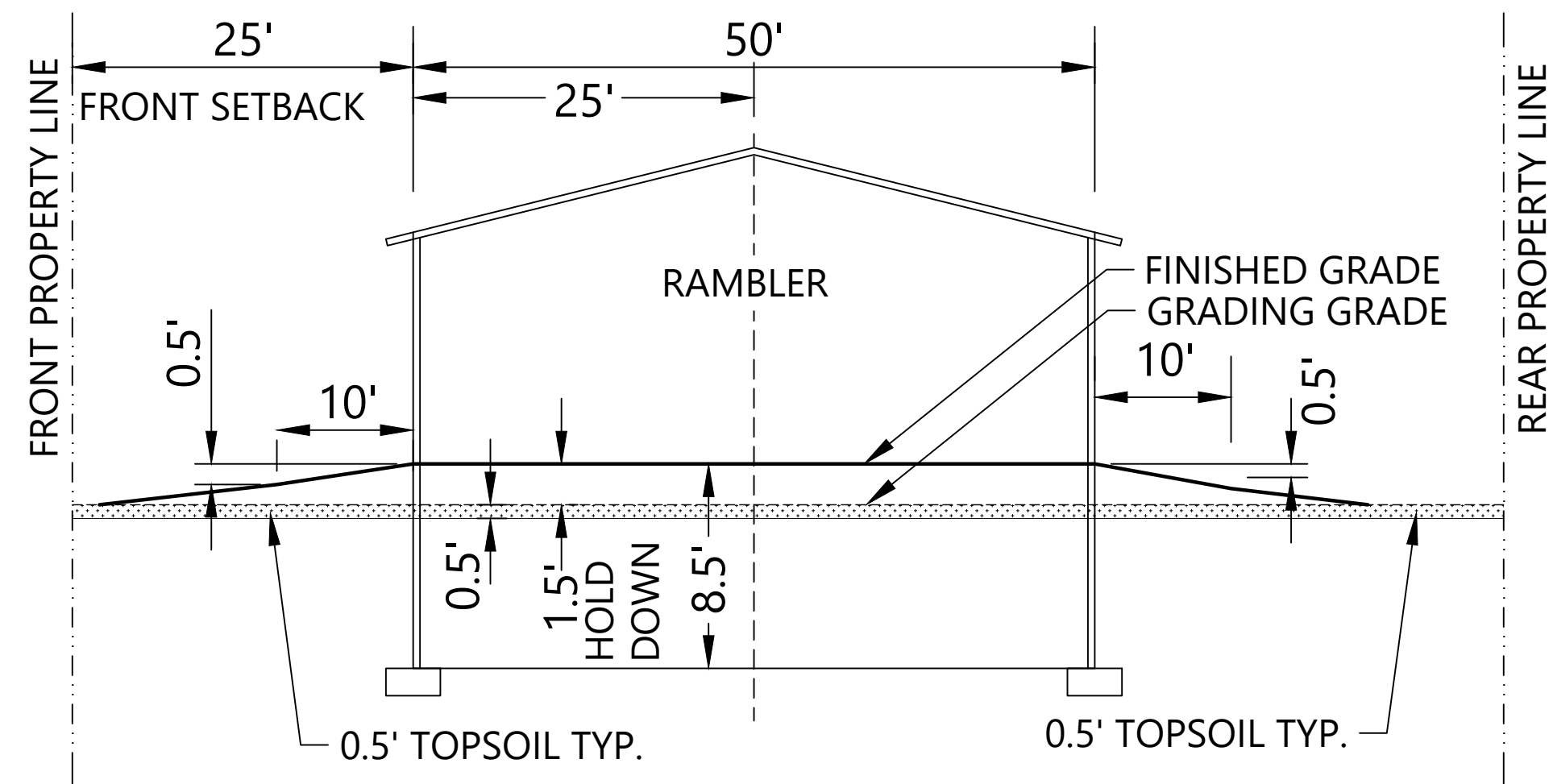
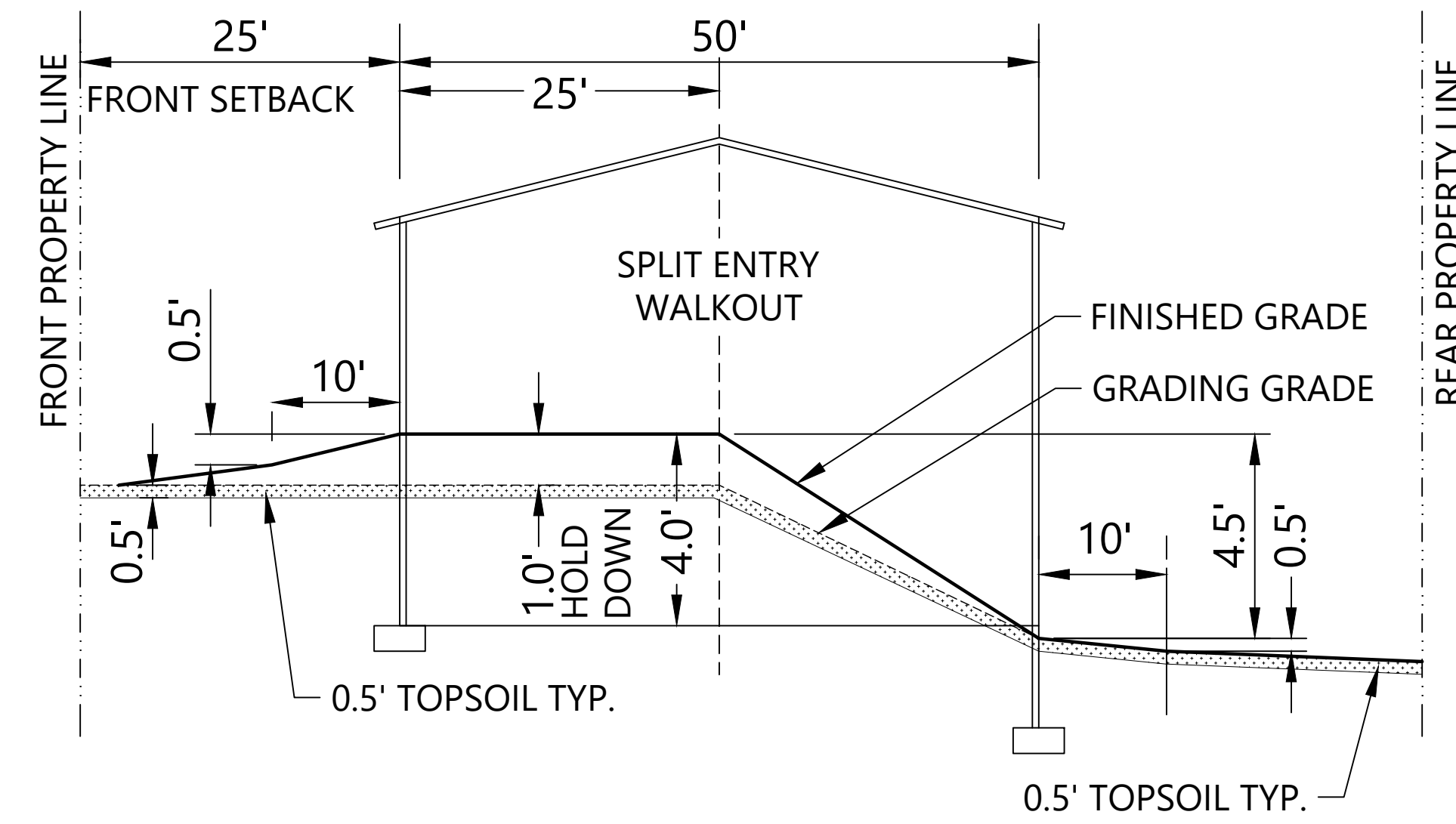
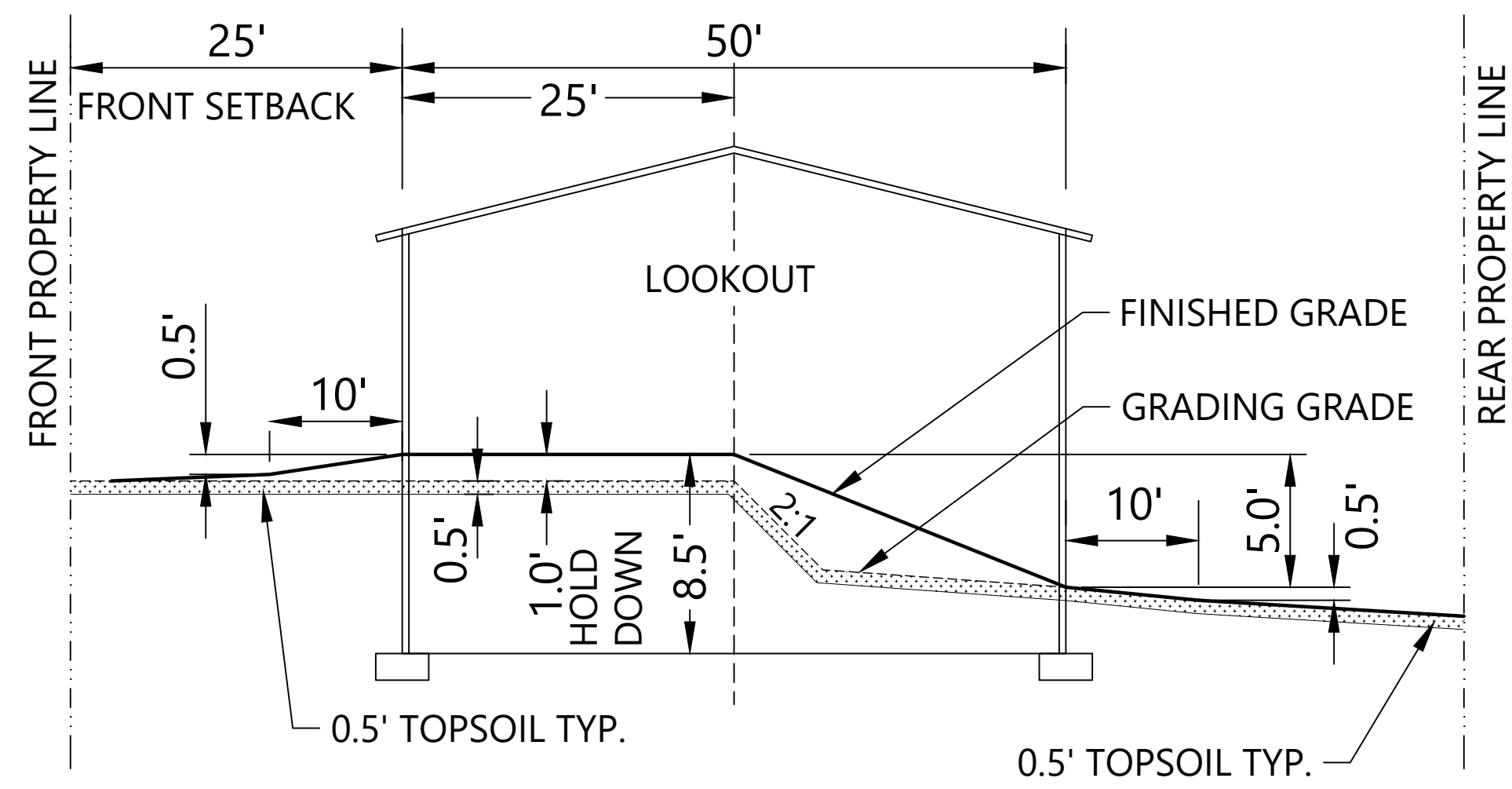


BIO-ROLL SEDIMENT CONTROL LOG STAKING DETAIL  
SCALE: NONE



STABILIZED CONSTRUCTION EXIT

TYPICAL BITUMINOUS SECTION



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DRAWN BY:  
JSW  
CHECKED BY:  
CM

HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
**PRELIMINARY**  
CHARLIE MELCHER LIC. NO.: ---- DATE: MM/DD/YYYY

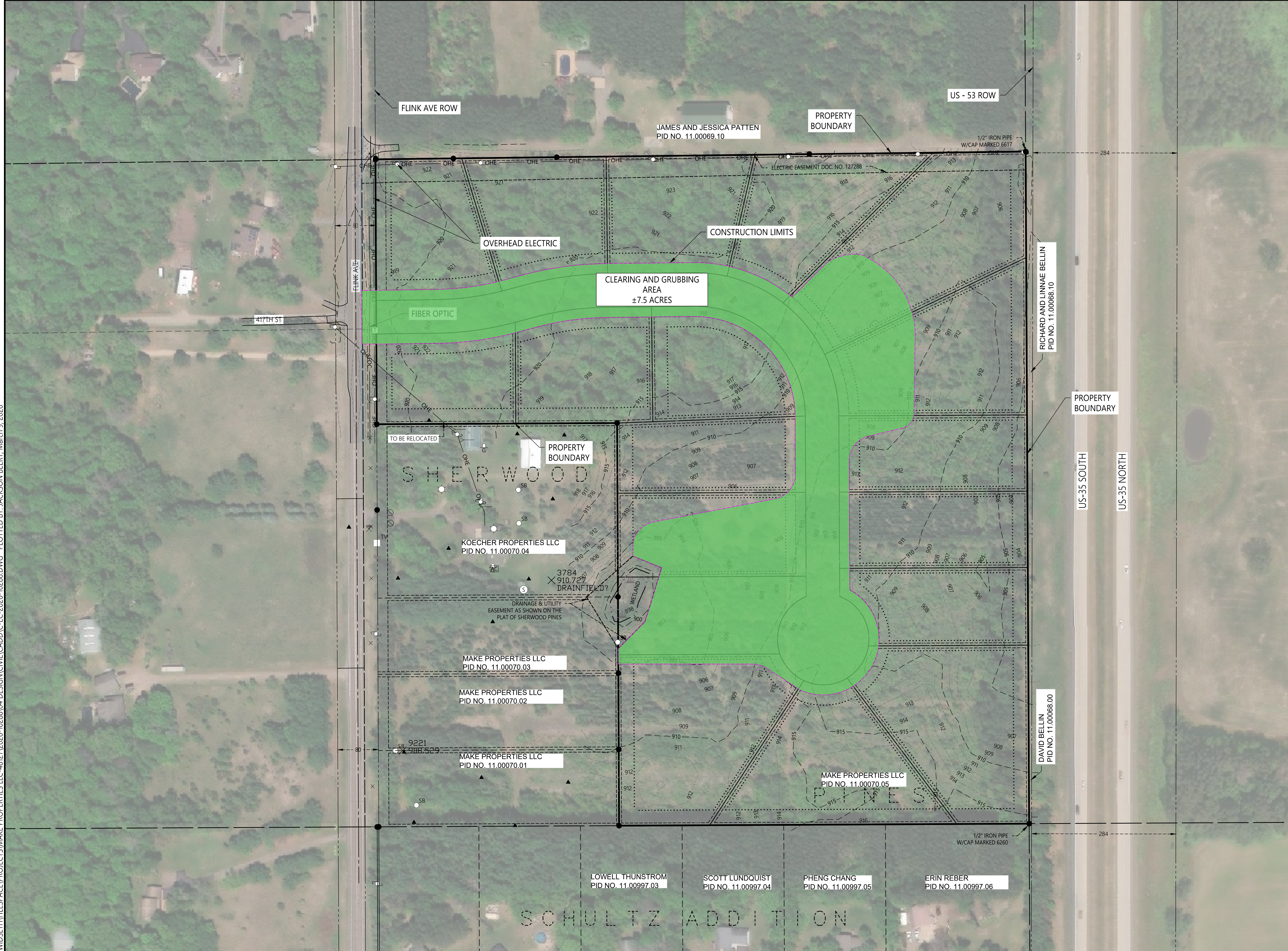
DATE	REV#	REVISIONS DESCRIPTION

**SHERWOOD PINES SECOND ADDITION**

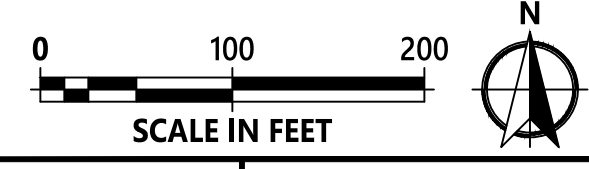
DETAILS

**C2.01**

PROJECT #: 2026-10288



- EXISTING CONDITIONS & DEMOLITION PLAN**
- 1230 MAJOR CONTOURS
  - 1234 MINOR CONTOURS
  - ELECTRIC POLE
  - TELECOM PEDESTAL
  - OHE OVERHEAD ELECTRIC LINE
  - FOC UNDERGROUND FIBER OPTIC LINE
  - EDGE OF WETLANDS
  - WETLAND
  - CLEARING AND GRUBBING (ACRE)
  - EXISTING BITUMINOUS SURFACE
  - EXISTING GRAVEL SURFACE
  - CONSTRUCTION LIMITS



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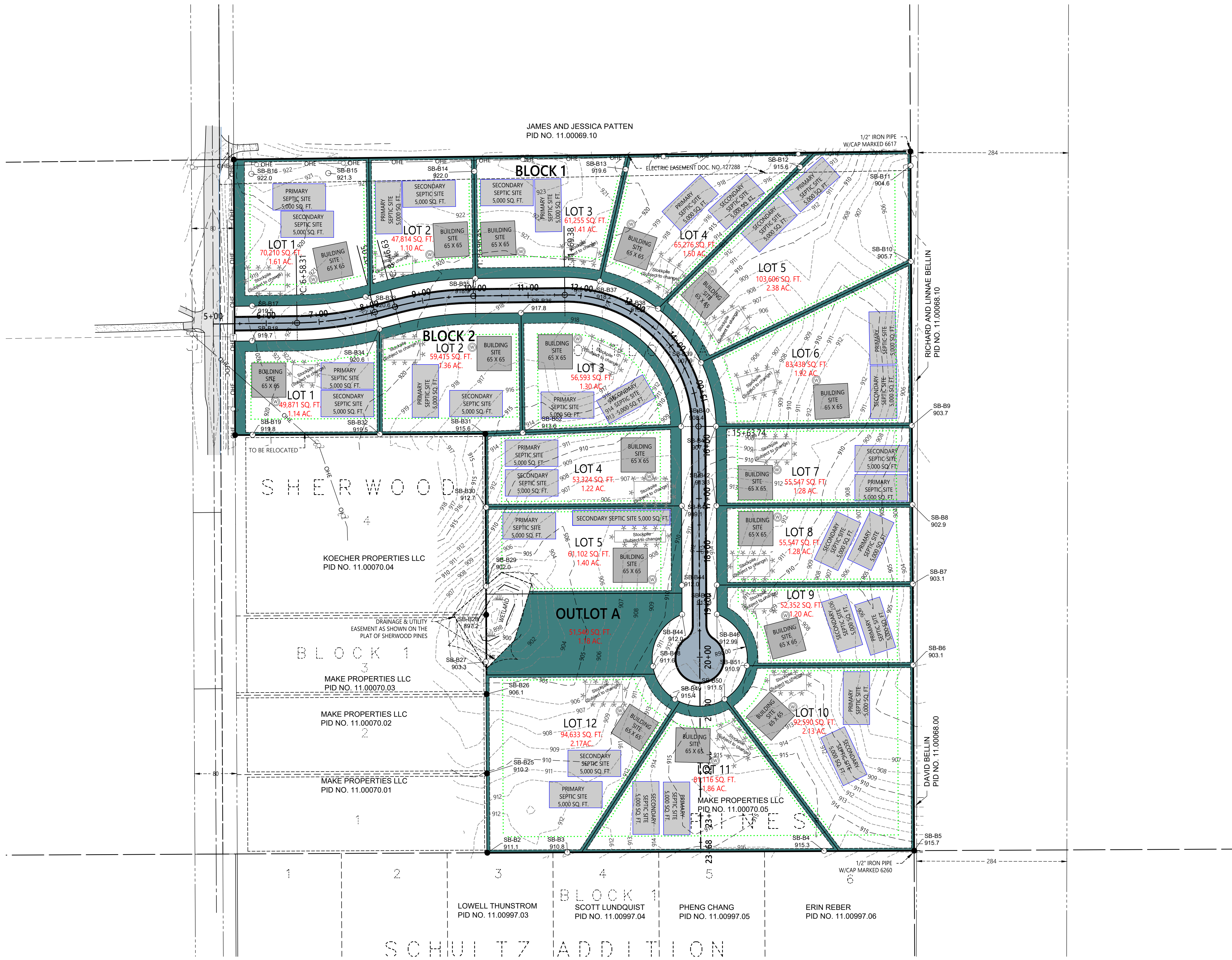


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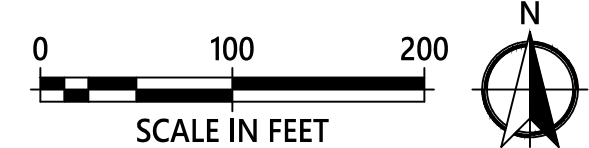
DATE	REV#	REVISIONS DESCRIPTION

**SHERWOOD PINES SECOND ADDITION**  
 EXISTING CONDITIONS & REMOVALS

**C3.00**  
 PROJECT #: 2026-10288



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CHECKED BY: CM  
CHARLIE MELCHER LIC. NO.: ---- DATE: MM/DD/YYYY

DATE	REV#	REVISIONS DESCRIPTION

SHERWOOD PINES SECOND ADDITION  
SITE PLAN

C4.00  
PROJECT #: 2026-10288

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**Applicant:**  
Make Properties LLC

**Project Name:**  
Sherwood Pines Second Addition

**Application date:**  
To Be Determined (TBD) and will be documented in this Storm Water Pollution Prevention Plan (SWPPP) narrative prior to the start of construction.

**Nature of construction activity description:**  
The Project proposes to construct 2,050 LF of bituminous rural roadway with a cul-de-sac and drainage ditches. 17 single family lots will be platted for future homes. A stormwater infiltration basins is also proposed.

Total estimated area to be disturbed by the Project is:           xx.xx AC

**Soils**  
The proposed site consists of sandy soil types.

**Name of person with Best Management Practices (BMP) experience who will oversee SWPPP implementation and coordinate with contractor:**  
TBD and will be documented in this SWPPP narrative prior to the start of construction.

**Person, organization, or entity responsible for long term maintenance of permanent stormwater treatment system:**  
TBD and will be documented in this SWPPP narrative prior to the start of construction.

**Documentation of all trained individuals:**  
**SWPPP preparer:**  
Company: Widseth  
Name:  
Address:  
City, State Zip:  
Email:  
Phone:  
Training organization/sponsor: University of Minnesota  
Training date(s):  
Training activity/content: Design of Construction SWPPP  
Instructor(s) name(s): John Chapman and Rebecca Foreman

**Individual overseeing implementation, revision and/or amendment the SWPPP that are available for an onsite inspection within 72 hours upon request of MPCA:** TBD and will be documented in this SWPPP narrative prior to start of construction.

Company: \_\_\_\_\_  
Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City, State Zip: \_\_\_\_\_  
Email: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Training organization/sponsor: \_\_\_\_\_  
Training date(s): \_\_\_\_\_  
Training activity/content: \_\_\_\_\_  
Instructor(s) name(s): \_\_\_\_\_

**Individual overseeing implementation, revision and/or amendment the SWPPP:** TBD and will be documented in this SWPPP narrative prior to start of construction.

Company: \_\_\_\_\_  
Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City, State Zip: \_\_\_\_\_  
Email: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Training organization/sponsor: \_\_\_\_\_  
Training date(s): \_\_\_\_\_  
Training activity/content: \_\_\_\_\_  
Instructor(s) name(s): \_\_\_\_\_

**Individual performing or supervising the installation, maintenance and repair of BMPs:**  
TBD and will be documented in this SWPPP narrative prior to start of construction.

Company: \_\_\_\_\_  
Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City, State Zip: \_\_\_\_\_  
Email: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Training organization/sponsor: \_\_\_\_\_  
Training date(s): \_\_\_\_\_  
Training activity/content: \_\_\_\_\_  
Instructor(s) name(s): \_\_\_\_\_

**Installation Timing of Erosion Prevention and Sediment Control BMPs:**  
Erosion and sediment control BMP's must be installed as necessary to minimize erosion from disturbed surfaces and capture sediment onsite. All BMP's must conform to the MNR100001 Permit, sections 7, 8 and 9.  
Temporary erosion control BMPs.

The General Contractor is responsible for the Erosion Prevention Practices contained in the MNR100001 Permit, section 8. The General Contractor must plan for and implement appropriate construction phasing, vegetative buffer strips, horizontal slope grading and other construction practices that minimize erosion. The location of areas not to be disturbed must be delineated (marked) on the development site before work begins.

Examples of Temporary Erosion Control BMPs

- Poly Cover Stockpile or Slope

- Construction Phasing

Sequence of construction:

Phase i

1. Install stabilized construction exits
2. Prepare temporary parking and storage area
3. Construct the silt fences and install sediment control logs on the site
4. Install inlet protection around all storm sewer structures
5. Begin bituminous removal
6. Begin removal of sidewalks and curb and gutter.
7. Replace utilities underneath roadway.

Phase ii

1. Temporarily seed exposed areas
  2. Install utilities, underdrains, storm sewers, curbs and gutters
  3. Install inlet protection around storm sewer structures
  4. Prepare site for paving
  6. Pave site
  7. Install inlet protection devices
  8. Complete grading and permanent seeding and planting
  9. When Permit termination conditions has been achieved, remove all temporary erosion and sediment control devices
- Phasing must be implemented to ensure that more area than can be effectively inspected and maintained in accordance with the MNR100001 permit is not disturbed.

- Disc Anchored Straw  
Minnesota Department of Transportation (MnDOT) reference:
  - Disc anchoring must be performed as necessary and/or according to the plan included in this SWPPP.
  - Disk anchor Type 1, Type 3, or Type 8 mulches with a disk anchoring tool as required by the contract immediately after placement unless otherwise approved by the Engineer.
  - Disk anchoring must be installed as per MnDOT spec. 2575.3.

- Rolled Erosion Control Products  
The contractor must minimize the need for disturbance to portions of the Project that have steep slopes (3:1 or steeper). For steep sloped areas that must be disturbed, the contractor must use techniques such as phasing, and stabilization practices designed for steep slopes including draining and terracing. Slopes steeper than 3:1 must be protected by rolled erosion prevention products.  
MnDOT reference:
  - Rolled erosion control products must be placed in the areas as shown on the plan included in this SWPPP.
  - Rolled erosion control products must be Rolled Erosion Prevention Products, Turf Reinforcement Mats, or Winter Blankets, according to plan. Materials must meet the requirements of MnDOT spec. 3885.
  - Rolled erosion control products must be placed as per MnDOT spec. 2575.3.

- Wood Chips

- Vegetation  
MnDOT reference:
  - Protect and preserve vegetation per the requirements of MnDOT spec. 2572.3
  - Before work begins, permittees must delineate the location of areas not to be disturbed.
- Mulch  
All disturbed soil areas must be temporarily mulched with Rapid Stabilization, Method 3, initiated immediately, when the area will not actively be worked for 14 days.  
3884, Stabilized Fiber Matrix, placed at 330 lb. per 1000 gal. of slurry mix.  
Seed mixture Two Year Crop Cover placed at a rate of 10 lb. per 1,000 gal. of slurry mix.  
Type 3 Slow-Release Fertilizer 10-10-10 placed at a rate of 50 lb. per 1000 gal. of slurry mix.  
Water placed at a rate of 875 gal per 1,000 gal of slurry mix.  
Apply mixture at a rate of 6000 gal per acre.  
MnDOT reference:
  - Mulch must be placed in the areas as shown on the plan included in this SWPPP.
  - Mulch must be Temporary, Type 1, Type 3, Type 4, Type 5, Type 6, Type 7, Type 8, Type 9, Winter, or Hydraulic Mulch according to plan. Materials must meet the requirements of MnDOT spec. 3882 or MnDOT spec. 3884.
  - Mulch must be applied as per MnDOT spec. 2575.3.

Temporary Sediment Control BMPs

The General Contractor is responsible for the Sediment Control Practices contained in the MNR100001 Permit, section 9. Sediment Control Practices must be installed on all down gradient perimeters before any upgradient land disturbing activities begin. These practices must remain in place until Permit Termination Conditions have been established in accordance with the MNR100001 Permit, section 13.

Examples of Temporary Sediment Control BMPs

- Silt Fence  
MnDOT reference:
  - Silt fence must be placed in the areas as shown on the plan included in this SWPPP.
  - Silt fence must be preassembled, machine sliced, hand installed, super duty, or turbidity barrier type, according to plan. Materials must meet the requirements of MnDOT spec. 3886.
  - Silt fence must be installed as per MnDOT spec. 2573.3.
- Sediment Control Logs  
MnDOT reference:
  - Sediment control logs must be placed in the areas as shown on the plan included in this SWPPP.
  - Sediment control logs must be Type Straw, Wood Fiber, Coir, Wood Chip, Compost, Rock, or Wood Fiber and Blanket Systems and meet the requirements of MnDOT spec. 3897.
  - Sediment control logs must be installed as per MnDOT spec. 2573.3.
- Filter Berms  
Silt fence or windrowed topsoil will be used as the primary control. Sediment control logs will be used as secondary control along each side of roadway at all low points and areas of high velocity drainage to prevent sediment from draining off roadway.  
MnDOT reference:
  - Filter berms must be placed in the areas as shown on the plan included in this SWPPP.
  - Filter berms must be Type 1, 2, 3, 4, or 5. Materials must meet the requirements of MnDOT spec. 3874.
  - Filter berms must be installed as per MnDOT spec. 2573.3

- Rock Ditch Check
- Sediment Control Log Ditch Check
- Filter Bag Insert Inlet Protection
- Rock / Compost Log Inlet Protection
- Tube Riser Inlet Protection
- Pop-Up Head Inlet Protection
- Inlet Hat Inlet Protection
- Silt Fence Ring and Rock Filter Berm Inlet Protection
- Sandbag Barriers  
MnDOT reference:
  - Sandbag barriers must be placed in the areas as shown on the plan included in this SWPPP.
  - Sandbag Barriers must be installed as per MnDOT spec. 2573.3.

- Slash Mulch, Crushed Rock, or Sheet Pad Construction Exit  
Rock construction exits must be placed at all locations construction vehicles will be exiting the Project Area. If the contractor chooses to access the site from locations other than where temporary rock construction exits are shown on the plan, additional construction exit controls must be placed at these locations as well. If sediment tracking is discovered on adjacent streets, the sediment must be removed with a street sweeper or other approved method within one calendar day of discovery. This must be done throughout the duration of the Project. The sediment may be returned to the exposed areas of the site or disposed of offsite per MPCA requirements.

MnDOT reference:

- Construction exit controls must be placed in the areas as shown on the plan included in this SWPPP.
- Construction exit controls must be constructed with slash mulch, crushed rock, temporary paving, reinforced geotextile, sheet pads, floating road, timber pad, or rumble pad.
- Construction exit controls must be installed as per MnDOT spec. 2573.3.

- Culvert End Controls  
MnDOT reference:
  - Culvert end controls must be placed in the areas as shown on the plan included in this SWPPP.
  - Culvert End Controls must be installed as per MnDOT spec. 2573.3.
- Culvert Standpipe Insert Inlet Protection
- Storm Drain Inlet Protection  
MnDOT reference:
  - Storm drain inlet protection must be placed in the areas as shown on the plan included in this SWPPP.
  - Storm Drain Inlet Protection must be installed as per MnDOT spec. 2573.3.

- Sediment Control Log Weir Culvert Inlet Protection
- Wood Plank Weir Culvert Inlet Protection
- Geotextile Fabric Culvert Inlet Protection
  - Geotextile Fabric Culvert Inlet Protection must be placed in the areas as shown on the plan included in this SWPPP.
  - Geotextile Fabric Culvert Inlet Protection must meet the requirements of MnDOT spec. 3886.
- a). Culvert inlet protection must be provided at all culvert inlet locations immediately after construction of the culvert. See plan included in this SWPPP for culvert inlet locations.
- b). Culvert inlet protection must consist of geotextile fabric wrapped around, and completely covering the inlet end section. The geotextile fabric must be the same fabric used in silt fence applications and meet the requirements of MNDOT Spec. 3886.
- c). The culvert inlet protection must remain in place and adequately maintained until Permit Termination Conditions have been established.
- d). Culvert inlet protection must be repaired or replaced if damaged during, or after, rain events, or if accumulated sediment reaches 1/2 of the diameter of the culvert pipe. Repair or replacement of culvert inlet protection must be completed within 24 hours of discovery.

- Temporary Sediment Basins  
The contractor may construct temporary sedimentation basins in accordance with the MNR100001 Permit, section 14.
- Temporary Diversion Ditch  
Measures must be taken to ensure that “clean” runoff from off site is diverted around disturbed areas on site. Care should be taken that re-routing off site runoff does not result in flooding or other issues on adjacent properties.

**Permanent Erosion Cover Methods for all exposed soil areas:**

- Gravel
- Bituminous Pavement
- Permanent Seed & Mulch or Sod
- Landscape material that will permanently attest soil erosion
- Perennial cover  
Permanent erosion control will be achieved with a density of 70% of the native background vegetation by using Seed Mixture Northern Boulevard at a rate of 150 lbs/ac of Pure Live Seed and Type 1 Fertilizer with a composition of 20-10-20 at a rate of 350 lbs/ac on all disturbed construction areas.  
Permanent erosion control will be achieved with a density of 70% vegetative cover native to local undisturbed areas using the seed mixtures, fertilizer and stabilization methods indicated on the SWPPP on all disturbed areas.

**Stormwater Mitigation Measures proposed as part of environmental, endangered species, archaeological or other required local, state or federal reviews conducted by the Project.**



	DRAWN BY: JSW	I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  <b>PRELIMINARY</b>	DATE	REV#	REVISIONS DESCRIPTION
	CHECKED BY: CM		CHARLIE MELCHER	LIC. NO.: ----	DATE: MM/DD/YYYY

**SHERWOOD PINES SECOND ADDITION**  
SWPPP NARRATIVE

**C6.00**  
PROJECT #: 2026-10288

No local, state, or federal environmental, endangered species or archaeological reviews were conducted for this Project that we are aware of.

**Discharges to any U.S. EPA approved TMDL for the pollutants/stressors described in the MNR100001 Permit, section item 23.7.**

**Permanent Stormwater Treatment System:**

An infiltration basin is anticipated as a result of this Project.

**Procedures to Amend SWPPP:**

The General Contractor must amend the SWPPP within 7 days include additional requirements, such as additional or modified BMP's, designed to correct problems or address situations in accordance with the MNR100001 Permit, section 6.

\*\*\*\*\*

Amendments to the SWPPP:

1. Date:
2. Date:
3. Date:
4. Date:
5. Date:

\*\*\*\*\*

**Methods to Minimize Soil Compaction and to Preserve Topsoil:**

The General Contractor must delineate areas that are not to be disturbed on the site. This may be done with flags, stakes, signs, silt fence, etc., and must be completed prior to the start of any grading operations. Regardless of the delineation method the General Contractor chooses to use, the General Contractor must communicate to his/her personnel and subcontractors that these areas are not to be disturbed, and construction equipment (including trucks and personal vehicles) must not be allowed in these areas.

**Stormwater Control Design:**

No stormwater control is anticipated for this Project.

**Chemical Treatment Systems to Enhance Sedimentation:**

- Flocculants
  - MnDOT reference:
    - > Flocculants must be applied as specified on the plan included in this SWPPP.
    - > Liquid, Stock, or Granular Flocculant must be used and meet the requirements of MnDOT spec. 3898.
    - > Flocculants must be installed as per MnDOT spec. 2573.3.

**Impervious Surfaces pre- and post-construction:**

Existing Impervious =	xxx AC
Proposed Impervious Area =	xxx AC
Increase of Total Impervious Surface Area=	0xxx AC

**Infeasibility Documentation Requirements:**

No

**Site Assessments for Groundwater or Soil Contamination:**

No site assessment for groundwater or soil contamination was completed for this Project that we are aware of.

**Tabulated Quantities:**

Item	Estimated Quantity
Silt Fence Type MS	xx LIN FT
Sediment Control Log Type Compost	xx LIN FT
Storm Drain Inlet Protection	xx TOTAL
Rolled Erosion Prevention Category 25	xx SQ YD

Stabilized Construction Exit	xx TOTAL
Fertilizer Type 1	xx LBS
Seed Mix Northern Boulevard	xx LBS

**CONSTRUCTION ACTIVITY REQUIREMENTS:**

**Erosion Prevention Measures**

- ❖ Exposed soils (including stockpiles) must have erosion protection/cover initiated immediately and completed within 14 days (or 7 days per MNR100001 Permit section 23).
- ❖ For DNR Public Waters with "work in waters restrictions" during specified fish spawning time frames, stabilization must be completed for all exposed soil areas within 200 feet of the water's edge, and draining to the water, within 24 hours during the restriction period.
- ❖ The wetted perimeter of the last 200 linear feet of ditches must be stabilized within 24 hours of connecting to a surface water or property line.
- ❖ Temporary or permanent ditches or swales that are being used as a sediment containment system during construction must be stabilized within 24 hours after no longer being used as a sediment containment system.
- ❖ Pipe outlets must have energy dissipation within 24 hours of connecting to a surface water or permanent stormwater treatment system.
- ❖ Mulch, hydro mulch, tackifier, polyacrylamide, or similar erosion prevention practices cannot be used within the normal wetted perimeter of drainage ditches or swale sections with a continuous slope greater than 2%.

**Sediment Control Measures**

- ❖ Sediment control practices must be established on downgradient perimeters and upgradient of any buffer zones.
- ❖ Sediment control practices must be established at the base of stockpiles on the downgradient perimeter prior to the initiation of stockpiling. Sediment controls must be managed in accordance with MNR100001 Permit section 9.6.
- ❖ Stockpiles must be located outside of natural buffers or surface waters, including stormwater conveyances (e.g., curb and gutter systems) unless there is a bypass.
- ❖ Inlet protection BMPs must be installed according to plan.
- ❖ Vehicle tracking BMPs must be established where vehicles are exiting the site to minimize street tracking. Sediment tracked onto a public street must be removed within 24 hours.
- ❖ Topsoil must be preserved unless it is infeasible.
- ❖ Soil compaction must be minimized.
- ❖ Discharges from BMPs must be directed to vegetated areas, unless it is infeasible.
- ❖ 50-foot natural buffers must be preserved or (if maintaining buffer is infeasible) redundant sediment controls must be provided when a surface water is located within 50 feet of the Project's earth disturbances and drains to the surface water.

**Dewatering and Basin Draining:**

- ❖ If dewatering is required on the site, there must be a plan in place to prevent nuisance conditions, erosion, and inundation of wetlands.  
 Dewatering related to the construction activity must comply with the MNR100001 Permit, section 10. Dewatering discharge that may have turbid or sediment laden discharge must be discharged to a temporary or permanent sedimentation basin on the Project Area whenever possible and BMP's must be implemented to prevent water containing sediment or other pollutants from being discharged to surface waters or downstream properties.  
 If nuisance conditions result from the discharge, Permittees must cease dewatering immediately and corrective actions must occur before dewatering is resumed. Nuisance conditions includes, but is not limited to, a sediment plume in the discharge or the discharge appears cloudy, or opaque, or has a visible contrast, or has a visible oil film, or has aquatic habitat degradation that can be identified by an observer. (Minn. R. 7050.0210)
- ❖ If using filters with backwash water, backwash water must be hauled away for disposal, returned to the beginning of the treatment process, or incorporated into the site in a manner that does not erode into runoff.

**Inspection Requirements:**

- ❖ The SWPPP must identify the trained person (as identified in MNR100001 Permit section item 21.2.b) who will conduct inspections.
- ❖ Inspections must be performed once every 7 days (or once every 3 days per MNR100001 section 23.13).
- ❖ Inspections must be performed within 24 hours of a rain event greater than 0.5 inches in 24 hours.
- ❖ Inspection and Maintenance records should include:
  1. Date and time of inspection.
  2. Name of person(s) conducting inspections.

3. Accurate findings of inspections, including the specific location where corrective actions are needed.
4. Corrective actions taken (including dates, times, and party completing maintenance activities).
5. Date and amount of rainfall events greater than 0.5 inch in 24 hours.
6. Rainfall amounts must be obtained by a properly maintained rain gauge installed onsite, or by a weather station that is within one mile or by a weather reporting system.
7. Requirements to observe any discharge that may be occurring during the inspection. Discharge should also be described and photographed.

**Maintenance Requirements:**

- ❖ All nonfunctional BMPs must be repaired, replaced, or supplemented with functional BMPs by the end of the next business day after discovery, or as soon as field conditions allow.
- ❖ Perimeter control devices must be repaired, replaced, or supplemented when nonfunctional or sediment reaches one-half the height of the device.
- ❖ Temporary and permanent sediment basins must be drained, and sediment removed when the depth of sediment collected reaches one-half storage volume within 72 hours of discovery.
- ❖ All sediment deposits and deltas must be removed from surface waters (including drainage ways, catch basins, and other drainage systems) and the removal areas restabilized within seven days.
- ❖ Sediment on paved surfaces (e.g., sediment tracked from vehicles) must be removed within one calendar day of discovery.

**Pollution Prevention Management Measures:**

- ❖ Proper storage, handling, and disposal of construction products, materials, and waste is required.  
 Hazardous materials and toxic waste (including oil, diesel fuel, gasoline, hydraulic fluids, paint solvents, petroleum-based products, wood preservatives, additives, curing compounds, and acids) must be stored in waterproof containers with secondary containment. Storage and disposal of hazardous waste must be in compliance with MPCA regulations. Runoff containing such material must be collected, removed from the site, treated, and disposed at an approved solid waste or chemical disposal facility. Building products that have the potential to leach pollutants and pesticides, fertilizers, treatment chemicals and landscape materials must be under cover by plastic sheeting or temporary roofs to prevent discharge or protected by similar effective means to prevent contact with stormwater.
- ❖ Address fueling and maintenance of equipment or vehicles and spill prevention and response.  
 The General Contractor must have a petroleum release plan and must have all necessary materials on hand to implement the plan. All employees must be trained in the implementation of the plan. The MPCA State Duty Officer must be informed of any petroleum spills greater than 5 gallons.  
 Spill kits must be available during equipment fueling and maintenance operations. General Contractor must make a spill response plan before the application of any chemical that may be harmful to the environment.  
 Spill cleanup materials must be available on site. Material must include but not limited to brooms, mops, rags, gloves, absorbent material, sand plastic and metal containers. Spills greater than 5 gallons that reach storm water conveyance systems connected to a Water of the State must be immediately reported to the MPCA State Duty Officer.

- ❖ Limit exterior vehicle and equipment washing to a defined area of the site.  
 External washing of trucks and other construction vehicles must be limited to a defined area of the site. Runoff must be contained, and waste properly disposed of.
- ❖ Describe the containment for concrete and other washout wastes.  
 Concrete washout site: all liquid and solid wastes generated by concrete washout operations must be contained in a leak proof containment facility or impermeable liner. The liquid and solid wastes must not contact the ground, and there must not be runoff from the concrete washout operations or areas. Liquid and solid waste must be disposed of properly and in compliance with the MPCA regulations. A sign must be installed adjacent to each washout facility to inform concrete equipment operators to utilize the proper facilities.
- ❖ Portable toilets must be positioned so that they are secure.  
 Licensed sanitary waste management handlers must dispose of sanitary waste.

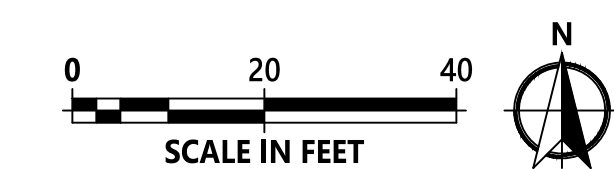
**Permit Termination Conditions:**

- ❖ Permanent uniform perennial vegetative cover must be established at minimum 70% density of its expected final growth.
- ❖ The permanent stormwater treatment system is constructed, meets all requirements, and is operating as designed.

- ❖ All temporary synthetic erosion prevention and sediment control BMPs must be removed, and the surrounding area must be restored to as designed.
- ❖ Clean out sediment from conveyance systems and permanent stormwater treatment systems (return to design capacity).
- ❖ For residential construction only, on individual lots where lot is sold to homeowner, the structures are finished, and permanent cover has been established, coverage terminates if temporary erosion protection and downgradient perimeter control is properly installed and the MPCA's Homeowner Fact Sheet has been distributed.
- ❖ Submit a Notice of Termination (NOT) with either ground or aerial photographs showing requirements of MNR100001 section 13.2 have been met to the MPCA.

**Record Retention Requirements:**

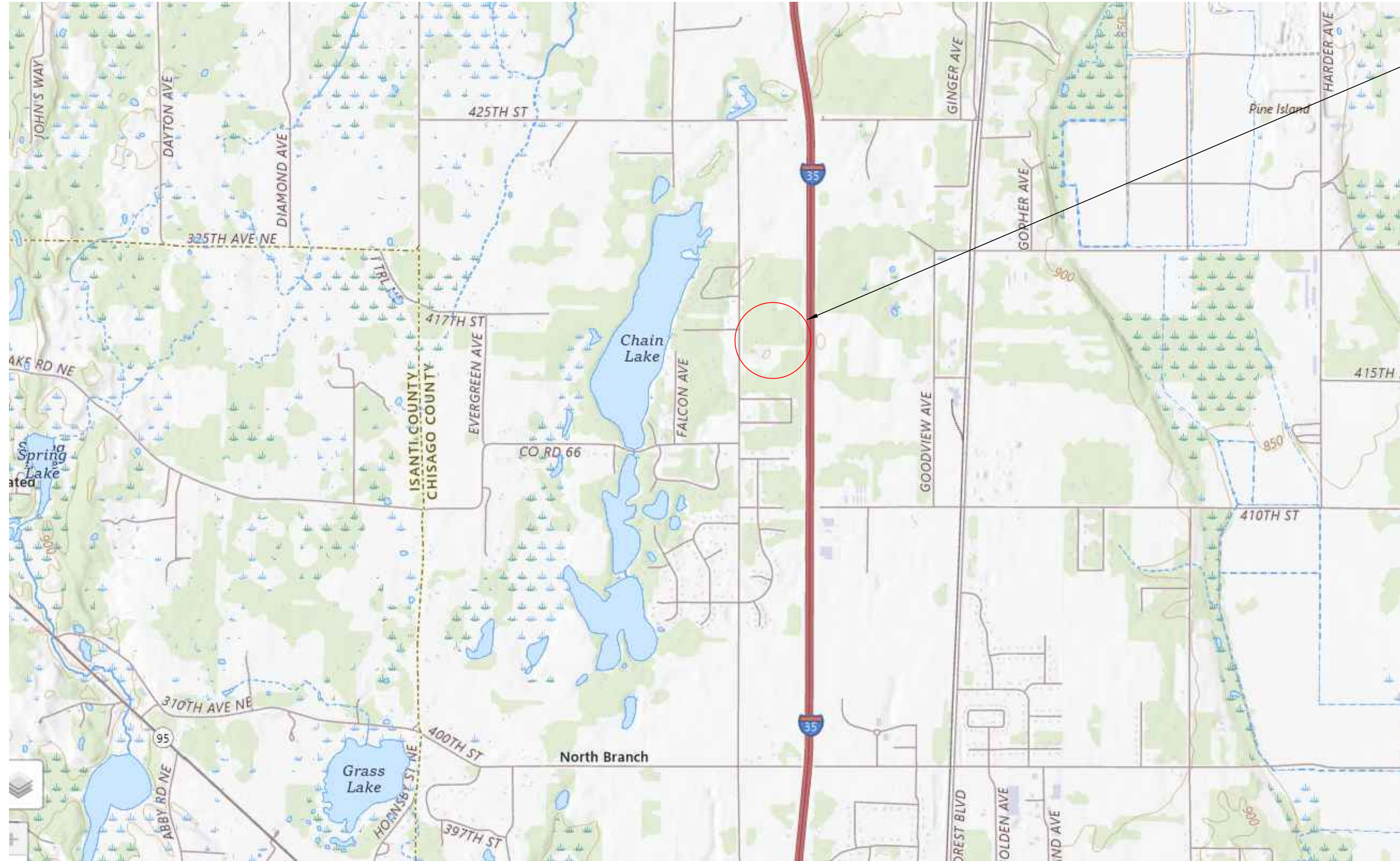
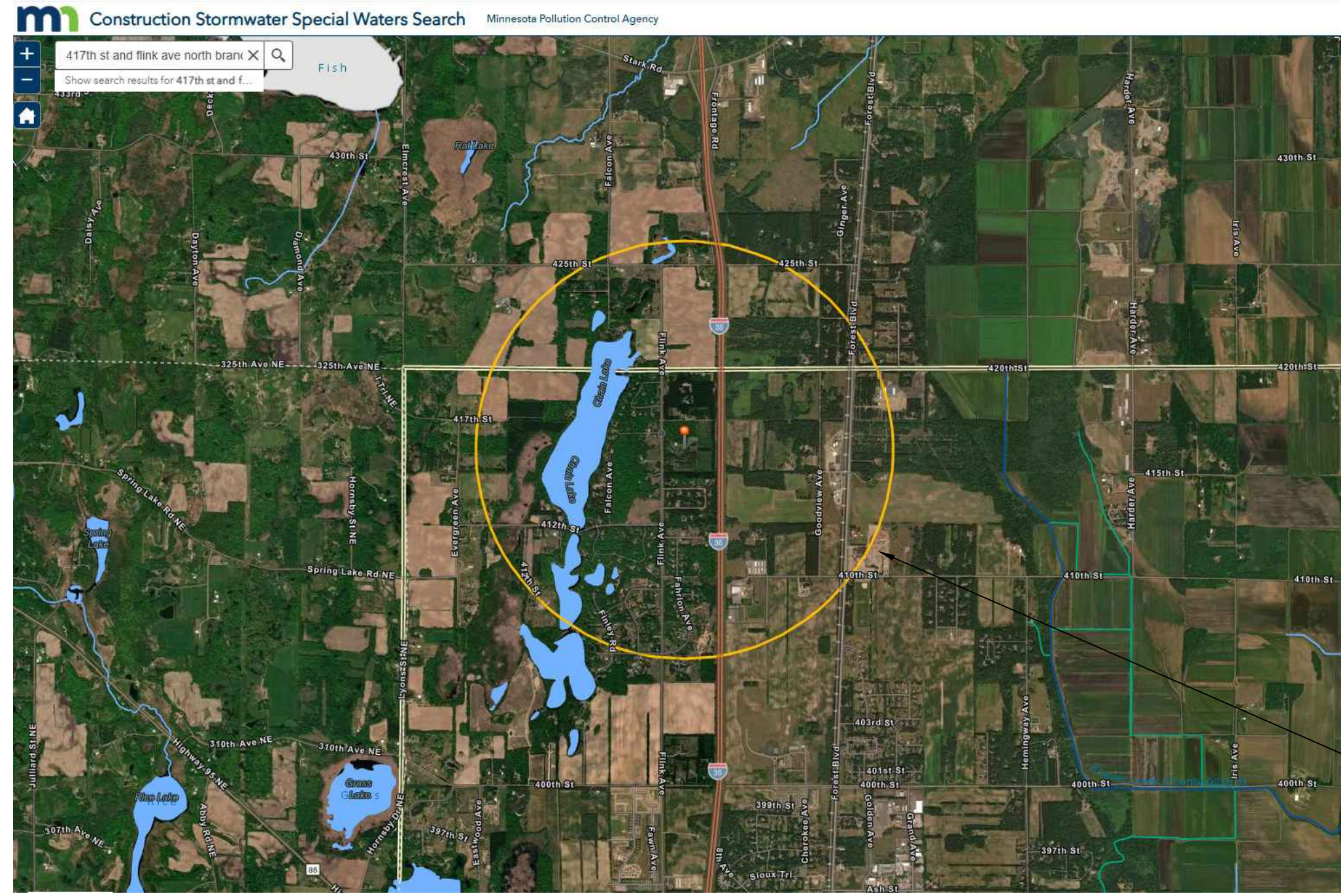
- ❖ Permittees must keep the SWPPP, on-site, or electronically available on-site, during normal working hours with personnel who have operational control over the applicable portion of the site, including all changes to the SWPPP, inspections, and maintenance records.  
 The SWPPP and associated records must be stored and maintained by an employee or representative of the Owner for 3 years after the submission of the NOT. Responsibility for overseeing the records will be transferred to another employee or representative should the current personnel become uninvolved with the Project or Owner. These records must include the following:
  - 1). The final SWPPP
  - 2). Any other stormwater related permits required for the Project
  - 3). Records of all inspection and maintenance conducted during construction
  - 4). All permanent operation and maintenance agreements that have been implemented, including all right-of-way, contracts, covenants and other binding requirements regarding perpetual maintenance
  - 5). All required calculations for design of the temporary and permanent Stormwater Management Systems.



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	CHECKED BY: CM		CHARLIE MELCHER	LIC. NO.: ----	DATE: MM/DD/YYYY		

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PROJECT LOCATION



DRAWN BY:  
JSW  
CHECKED BY:  
CM

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DATE	REV#	REVISIONS DESCRIPTION

**SHERWOOD PINES SECOND ADDITION**  
SWPPP MAPS - SOILS

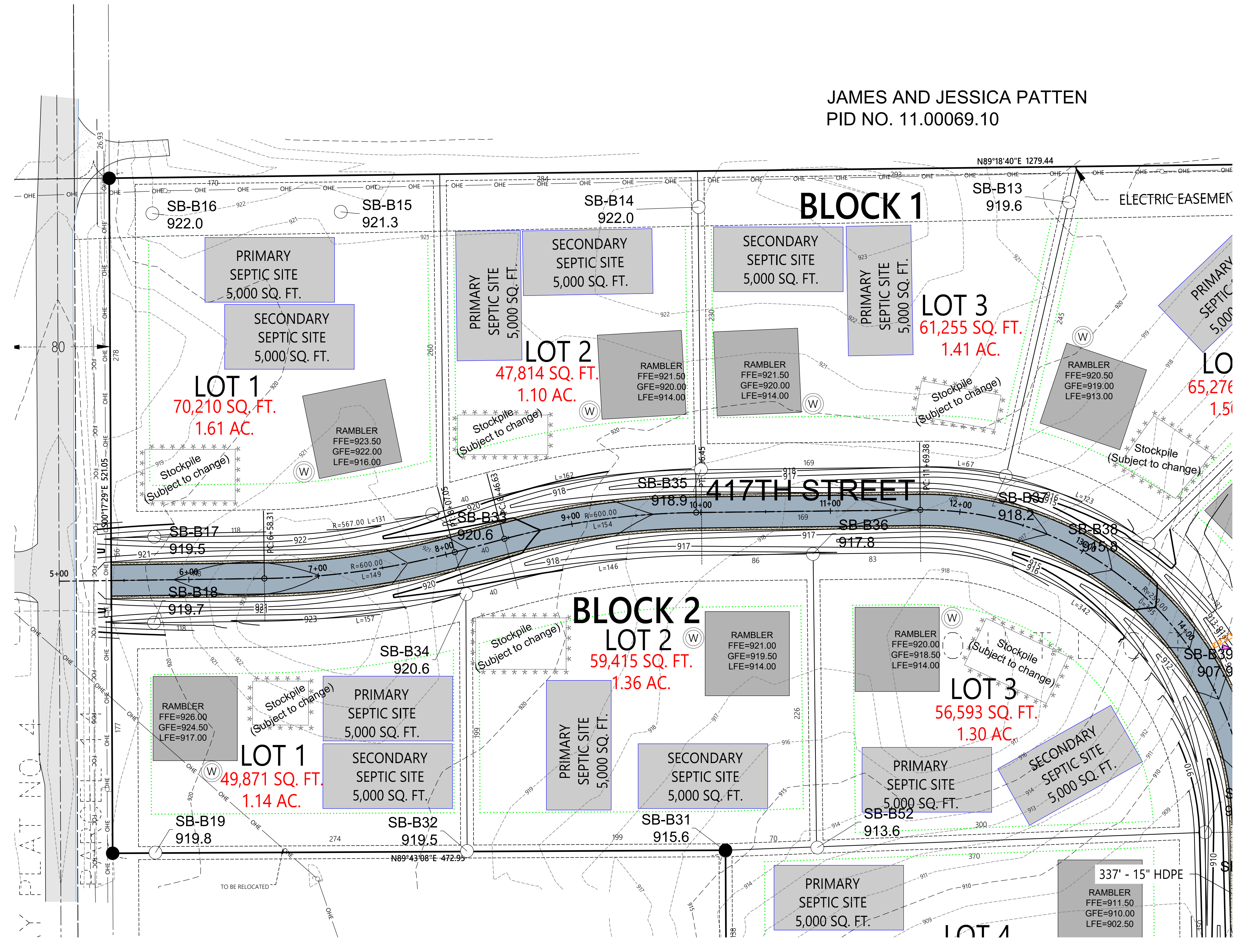
**C6.02**  
PROJECT #: 2026-10288

JAMES AND JESSICA PATTEN  
PID NO. 11.00069.10

BLOCK 1

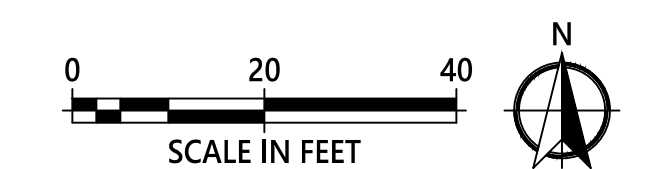
417TH STREET

BLOCK 2



- TOPOGRAPHIC INFORMATION - PROPOSED**
- 1230 MAJOR CONTOURS (WITH LABEL)
  - 1234 MINOR CONTOURS (WITH LABEL)
  - 1234.56 SPOT ELEVATION
  - +1.23% SLOPE - PERCENT
  - 1:2 SLOPE - RISE : RUN
  - TBC: 1234.56 SPOT ELEVATIONS @ CURB (TBC: TOP BACK CURB / FLW: CURB FLOWLINE)
  - FLW: 1234.06 SPOT ELEVATIONS, CUT/FILL (GREEN: FILL DEPTH / RED: CUT DEPTH)
  - +1.23, -3.21

- TOPOGRAPHIC INFORMATION - EXISTING**
- 1230 MAJOR CONTOURS
  - 1234 MINOR CONTOURS
  - + 1234.56 SPOT ELEVATION



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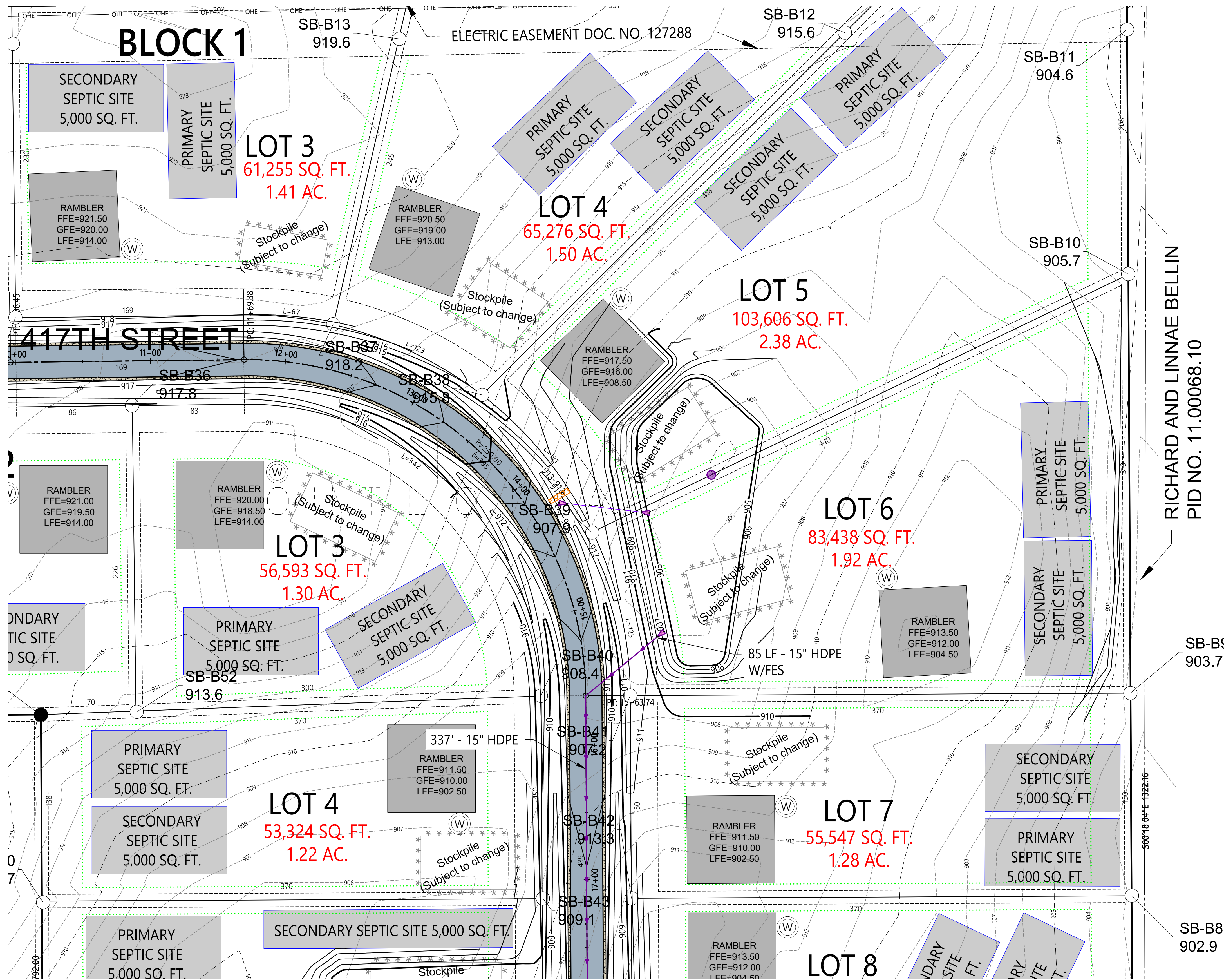
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DATE	REV#	REVISIONS DESCRIPTION

SHERWOOD PINES SECOND ADDITION  
GRADING & EROSION CONTROL PLAN

C5.00  
PROJECT #: 2026-10288



- TOPOGRAPHIC INFORMATION - PROPOSED**
- 1230 MAJOR CONTOURS (WITH LABEL)
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  - TBC: 1234.56  
FLW: 1234.06 SPOT ELEVATIONS @ CURB  
(TBC: TOP BACK CURB / FLW: CURB FLOWLINE)
  - +1.23, -3.21 SPOT ELEVATIONS, CUT/FILL  
(GREEN: FILL DEPTH / RED: CUT DEPTH)

- TOPOGRAPHIC INFORMATION - EXISTING**
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  - 1234 MINOR CONTOURS
  - + 1234.56 SPOT ELEVATION



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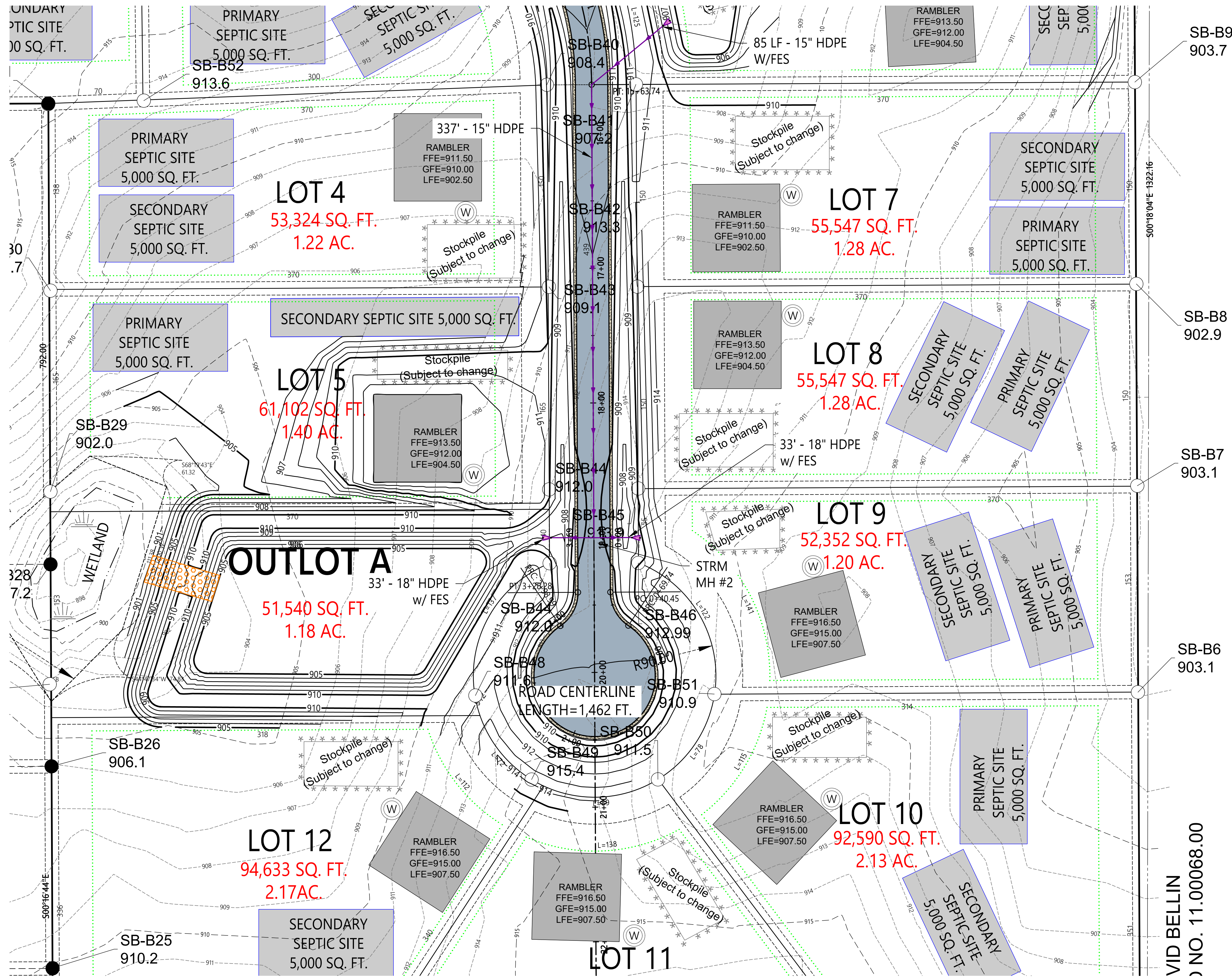
**PRELIMINARY**

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DATE	REV#	REVISIONS DESCRIPTION

**SHERWOOD PINES SECOND ADDITION**  
GRADING AND EROSION CONTROL PLAN

**C5.01**  
PROJECT #: 2026-10288



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  - 1234 MINOR CONTOURS
  - + 1234.56 SPOT ELEVATION



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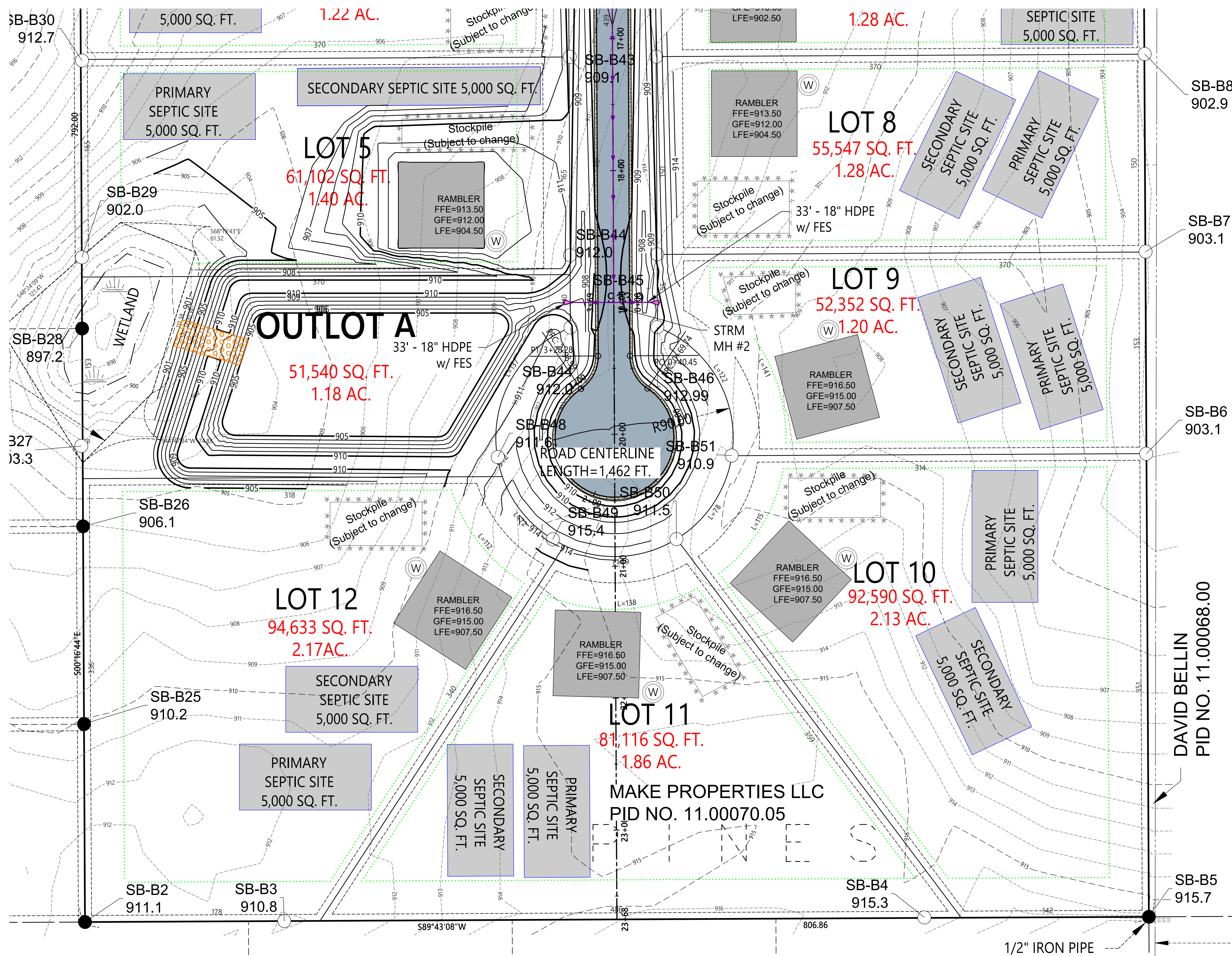
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DATE	REV#	REVISIONS DESCRIPTION

**SHERWOOD PINES SECOND ADDITION**  
GRADING & EROSION CONTROL PLAN

**C5.02**  
PROJECT #: 2026-10288



TOPOGRAPHIC INFORMATION - PROPOSED

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TOPOGRAPHIC INFORMATION - EXISTING

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- 1234 MINOR CONTOURS
- + 1234.56 SPOT ELEVATION



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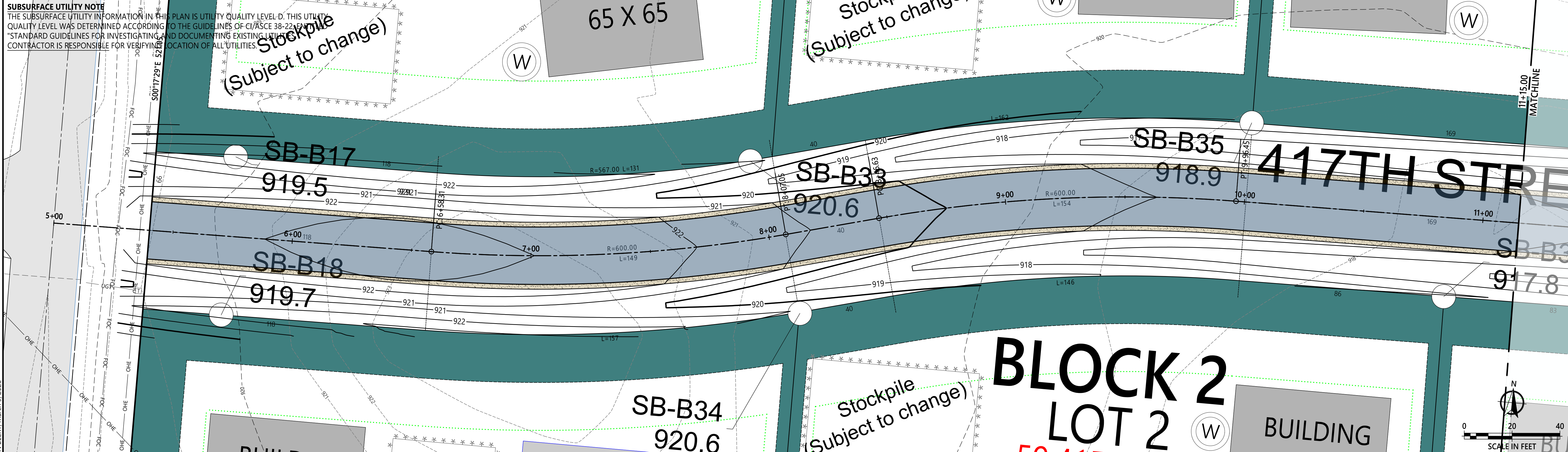
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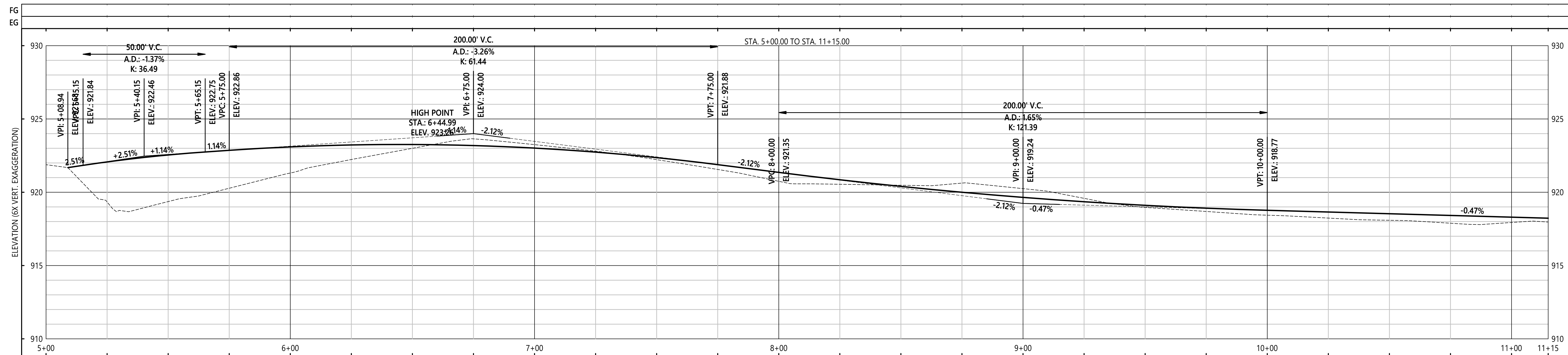
C-GR-2026-10288 - C4.01 (3)

PROJECT #: 2026-10288

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**STA. 5+00 TO STA. 11+15**



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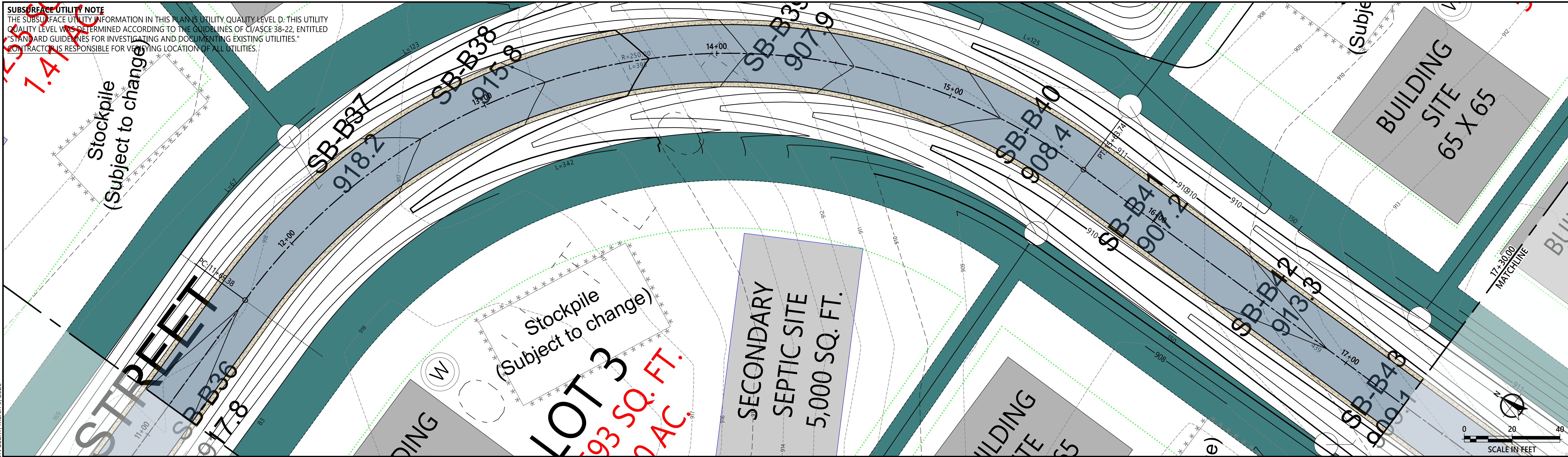
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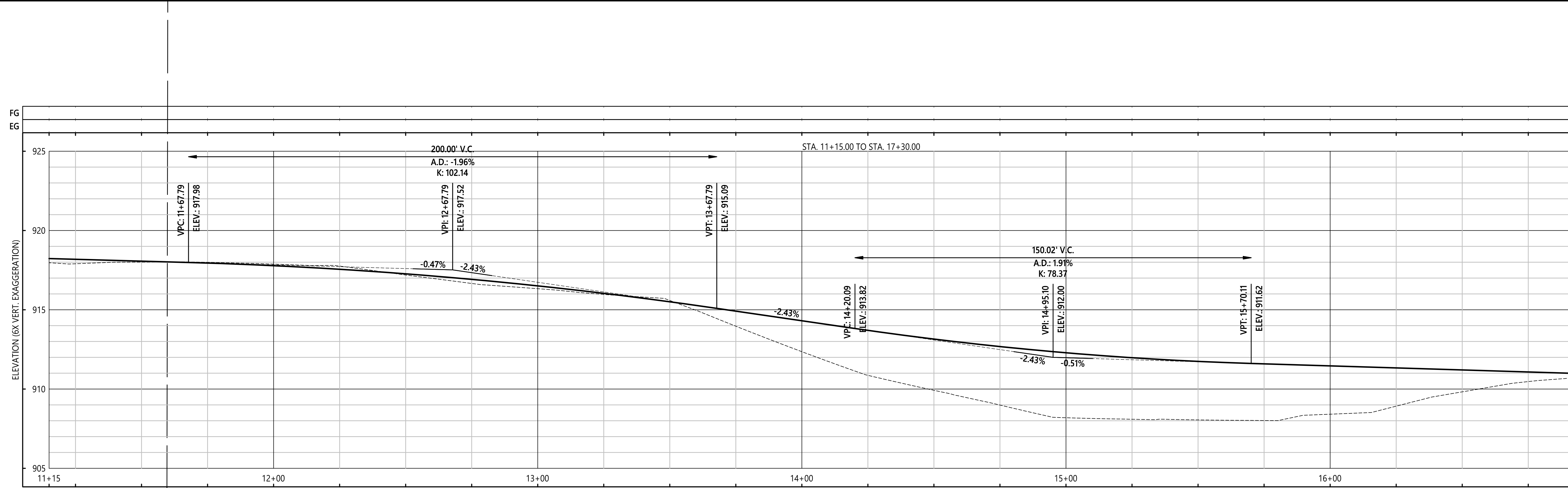
**C7.00**

PROJECT #: 2026-10288

**SUBSURFACE UTILITY NOTE**  
 THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF C/ASCE 38-22, ENTITLED "STANDARD GUIDELINES FOR INVESTIGATING AND DOCUMENTING EXISTING UTILITIES." CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL UTILITIES.



**STA. 11+15 TO STA. 17+30**



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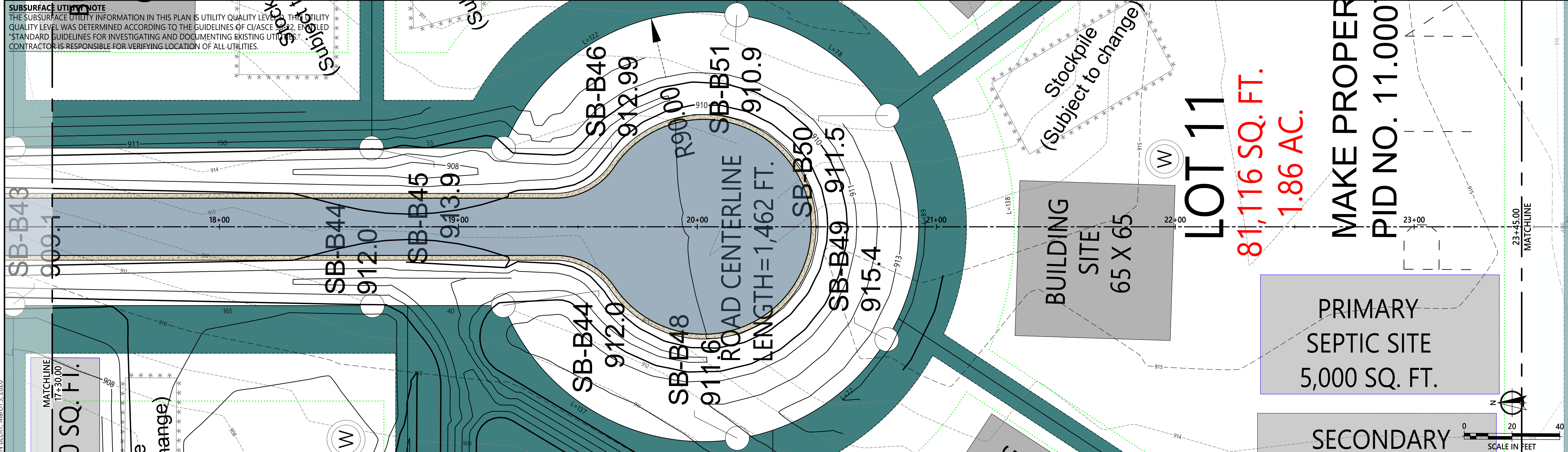
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**SHERWOOD PINES SECOND ADDITION**

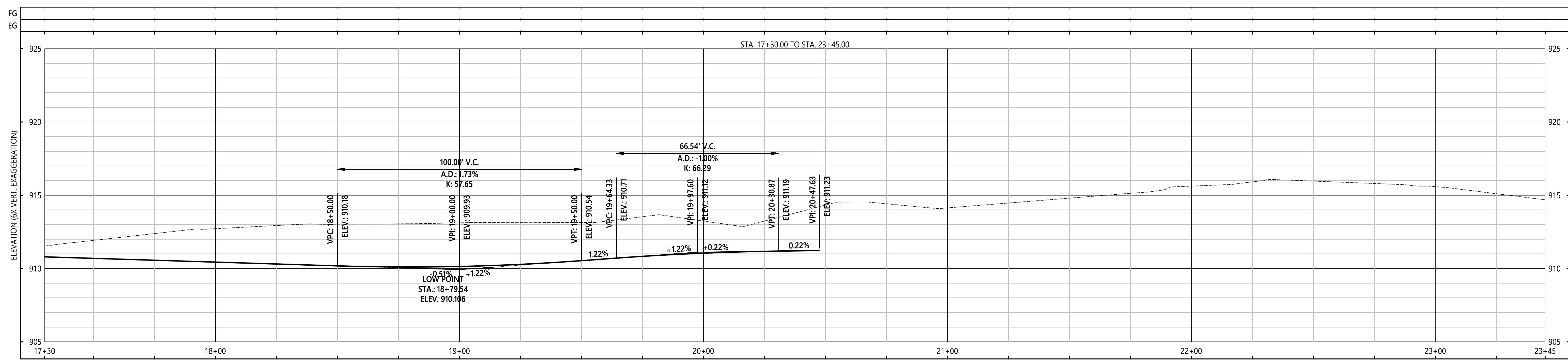
STA. 11+15 TO STA. 17+30

**C7.01**

PROJECT #: 2026-10288



**STA. 17+30 TO STA. 23+45**

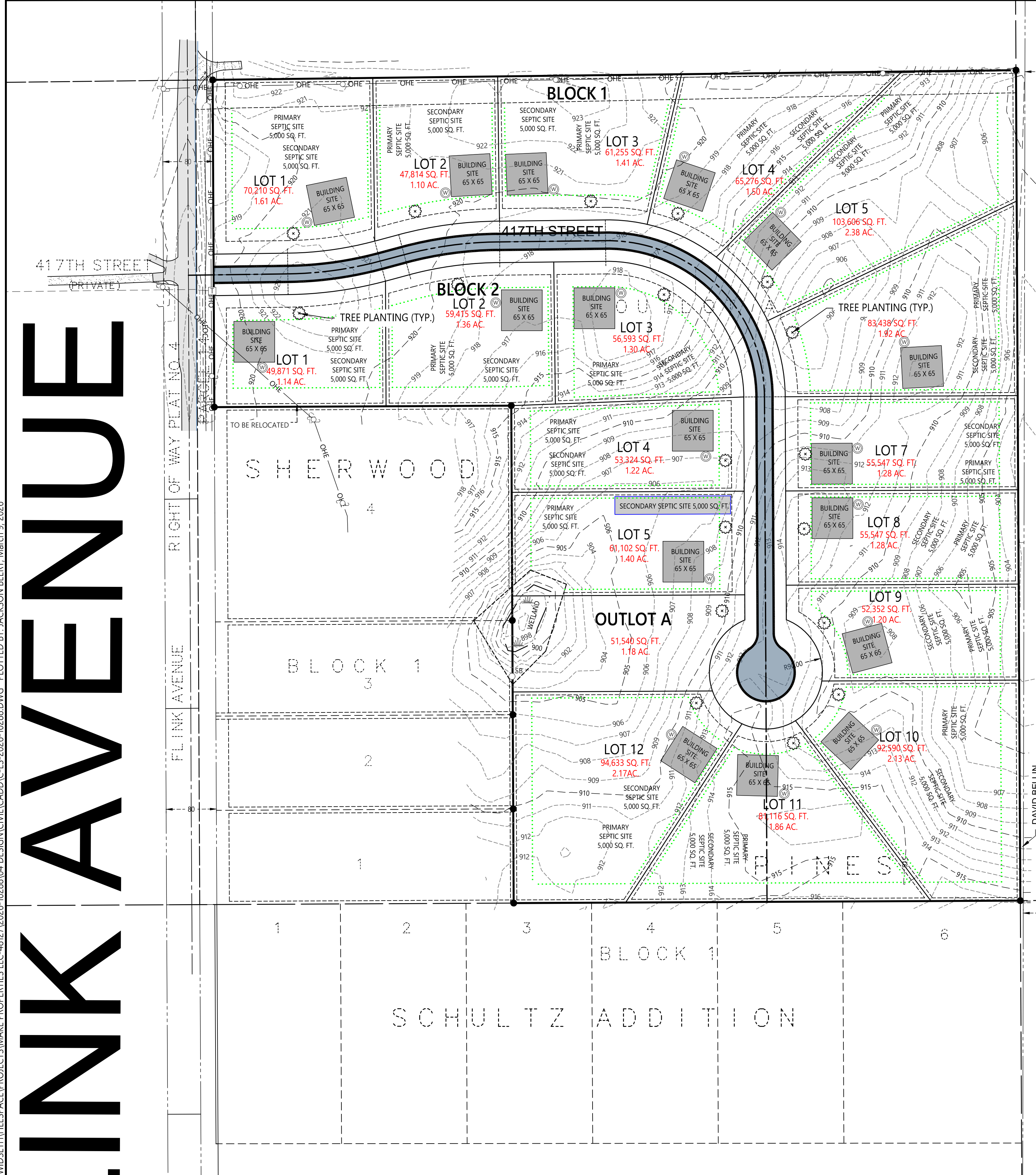


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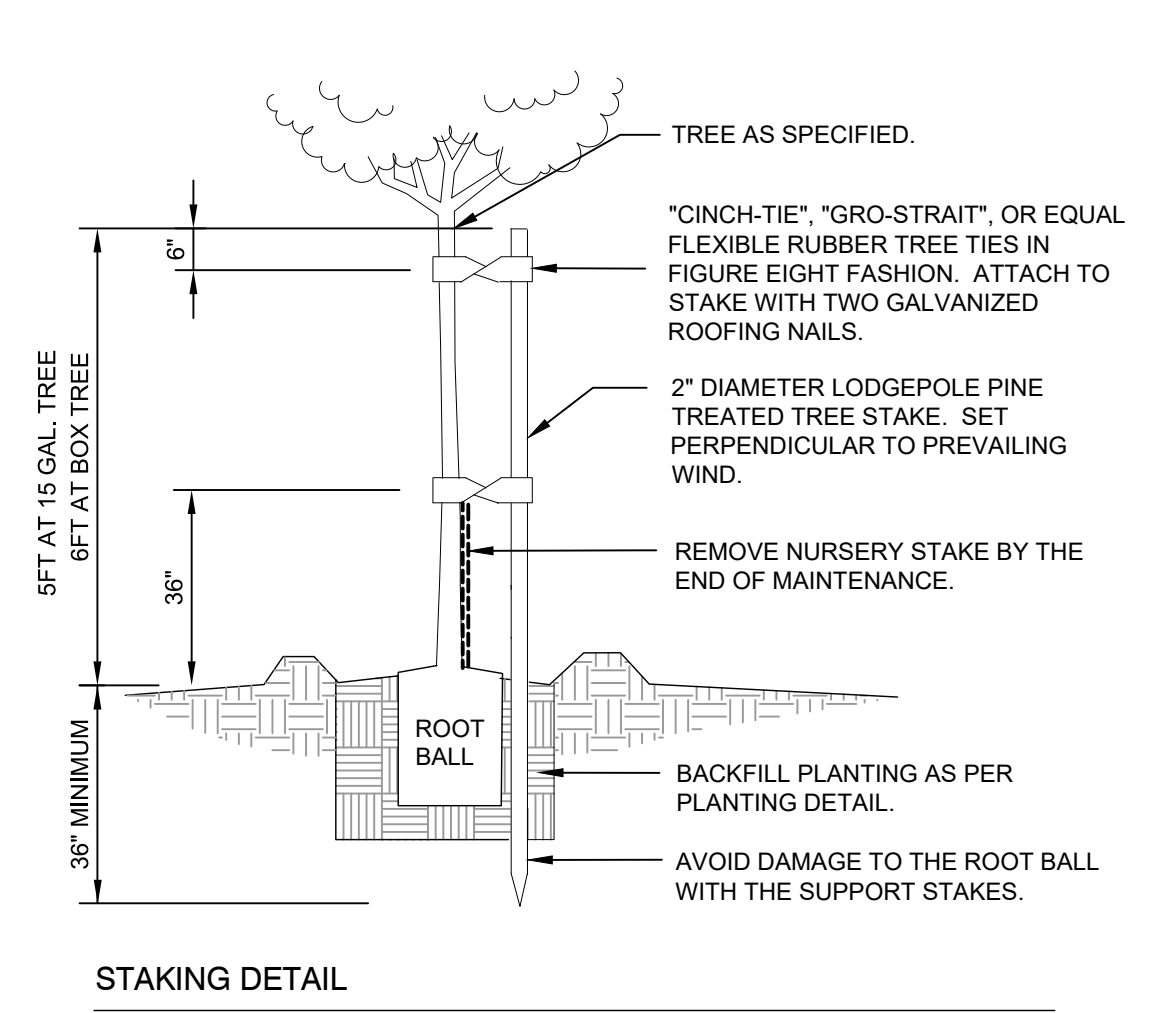
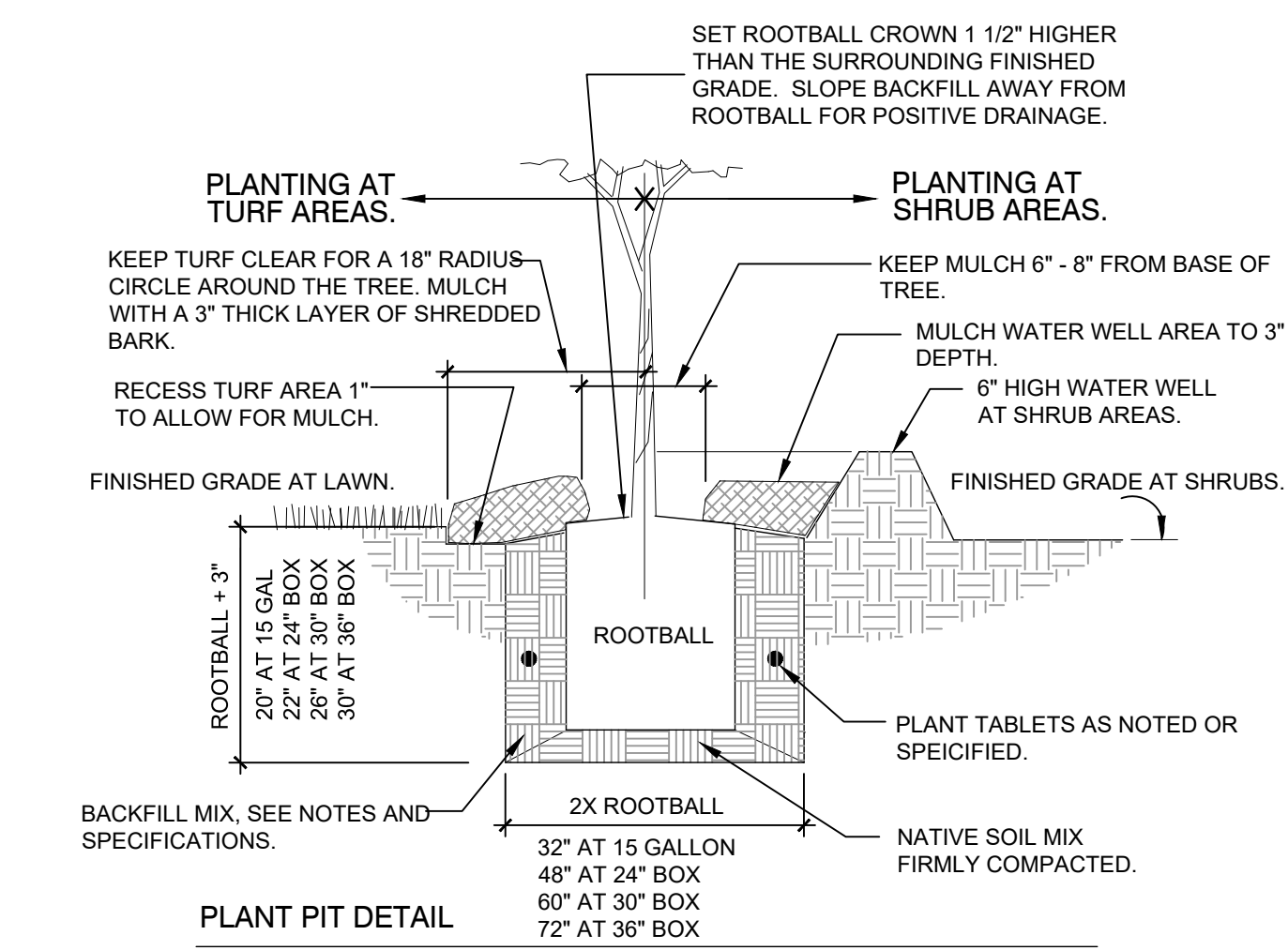
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	CHECKED BY: CM		CHARLIE MELCHER	LIC. NO.: ----			

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# INK AVENUE



# ATE LILICAWAN



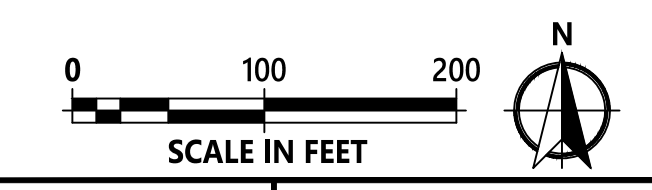
1 TREE SINGLE STAKE PLANTING  
1" = 1'-0"

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LIC. NO.: ----  
DATE: MM/DD/YYYY

DATE	REV#	REVISIONS DESCRIPTION

SHERWOOD PINES SECOND ADDITION  
LANDSCAPE PLAN


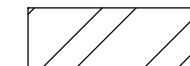
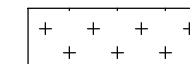

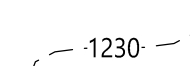
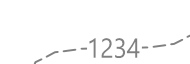






L1.00  
PROJECT #: 2026-10288

# TREE PRESERVATION PLAN

## SHERWOOD PINES 2ND ADDITION

### LEGEND

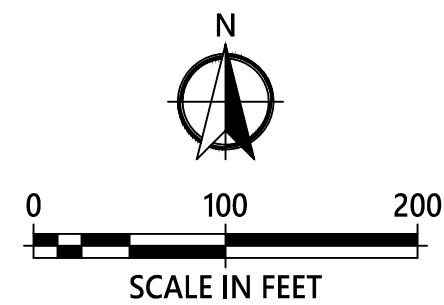
-  EXISTING OFFSITE TREE AREA
-  TREE SAVE AREA
-  TREE REMOVE AREA
-  FOUND IRON PIPE
-  5 FOOT CONTOUR
-  1 FOOT CONTOUR
-  BITUMINOUS SURFACE
-  GRAVEL SURFACE
-  EDGE OF WOODS
-  CONSTRUCTION LIMITS

### TREE TOTALS

TOTAL TREE AREA SAVED : 572,942 SQ. FT. OR 13.15 ACRES  
 TOTAL TREE AREA REMOVED : 264,356 SQ. FT. OR 6.07 ACRES  
 TOTAL TREE AREA : 837,298 SQ. FT. OR 19.22 ACRES


### BENCHMARK

THE CAPPED IRON MONUMENT AT THE NORTHEAST CORNER OF OUTLOT A, ELEV. = 905.29 NAVD88



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DRAWN BY:  
JMM  
 CHECKED BY:  
KLJ

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 KELLY L. JORDAN LIC. NO.: 42648 DATE: 04/08/2026

DATE	AMENDMENT DESCRIPTION
4/8/2026	REVISE TREE REMOVAL/SAVED AREAS

PREPARED FOR:

MaKe PROPERTIES LLC

TREE PRESERVATION PLAN PROJECT #: 2026-10288

## Memorandum

**To:** North Branch Development Review Committee

**From:** Justin Messner, Heidi Hamilton, Kris Keller, Kendra Fallon WSB

**Date:** April 14, 2026

**Re:** Sherwood Pines 2<sup>nd</sup> Addition - Preliminary Plat Review  
WSB Project No. 035290-000

Preliminary Plans were submitted for the proposed Sherwood Pines 2<sup>nd</sup> Addition Development in the City of North Branch, Chisago County. The project is located to the east of Flink Avenue at 417<sup>th</sup> Street. Engineering review comments were generated from the following documents:

- \_2026-10288 Make Properties.pdf
- Certificate of Survey Make Properties LLC.pdf
- Preliminary Plat Sherwood Pines 2<sup>nd</sup> Addition 20260305.pdf
- 41623 Flink Ave soil log.pdf
- 41623 Flink Ave Septic Report.pdf
- Drainage Report\_Signed Sherwood Pines Second Addition\_update.pdf

The following items should be addressed, including the red-lined comments on the submitted plans.

### General

1. Update individual plan sheets to match descriptions and order in sheet index

### Preliminary Plat

2. Provide minimum 20' easement for all EOF drainage routes and all drainage from one lot across an adjacent lot
3. Provide additional easements for drainage from one lot to another
  - a. Drainage swales should be completely contained within easement

### Preliminary Site Plan

4. Provide more specific sign details (stop sign, street name sign, etc.).
5. Better show the proposed connection between 417th Street and Flink Ave
6. Label roads on all plan sheets

### Preliminary Grading & Erosion Control Plan

7. Provide **on the grading plan**
  - a) EOF elevations for all low points within the roadway ditch
    - i. Provide minimum 20' easement for all EOF drainage routes and all drainage from one lot across an adjacent lot
    - ii. Show all routes and verify that downstream EOFs are lower and downstream houses are not inundated.

- b) EOF elevation and locations for proposed stormwater basins
  - c) Note basin NWLs (as applicable) and HWL on the plans
    - i. Confirm City freeboard requirements are met with respect to proposed building elevations
  - d) Provide additional easements for drainage from one lot to another
    - i. Drainage swales should be completely contained within easement
8. Provide driveway access for Lot 6.
  9. Swales should be a minimum of 2%.
  10. Include riprap at the storm sewer outlets.
  11. The basins should be covered under drainage and utility easement up to the HWL. This is currently not provided for the northeast basin.
  12. Approval and agreement required from adjacent property owner for all grading and construction on adjacent property if applicable.
    - a. Provide documentation to City
  13. Better show the proposed connection between 417th Street and Flink Ave
  14. Provide an additional overall grading plan
    - a. Show contours on adjacent properties to an extent that drainage patterns are shown (more like existing properties to the west)
  15. Additional detailed grading/erosion control comments are noted on the plans to be addressed.

#### **SWPPP**

14. Provide proof of coverage for NPDES permit prior to construction.
15. The SWPPP in the plans should be updated with project information for review.

#### **Street/Utilities**

16. All storm sewer within the City right of way should be RCP.
17. Provide modeling/rational method sizing for all proposed culverts and storm sewer.
18. Show proposed storm sewer on roadway profile sheets.
  - a) Include pipe information (size, slope, material) for all culverts and pipes shown on the plans.
  - b) Include invert information for all FES and structures on the plans.

#### **Landscape Plans**

19. Include restoration planned for boulevards and other disturbed areas (seed, blanket, sod, etc).
20. Include restoration planned for proposed stormwater basins. Show basins on landscape plans.

#### **Surface Water Management**

21. Soil borings extending a minimum 3 feet below the proposed bottom elevation of any proposed infiltration basins should be included to confirm feasibility of infiltration and that proper separation to groundwater is provided per NPDES permit requirements.
22. Basin grading, elevations and outlets modeled in HydroCAD do not reflect what is shown on the plans plotted on March 9, 2026. Plans/modeling should be updated to be consistent with one another and confirm what is being modeled is feasible.
  - a) Details for the outlet control structures should be included on the plans in future submittals.
23. The stormwater report notes that the existing wetland is landlocked so analysis was done and hence the upstream infiltration basins are also considered landlocked.

Building low floor elevations on the plans should be updated to meet the City's freeboard requirements as outlined in the City's Engineering Design Standards as noted in the report.

- a) Freeboard requirements should also confirmed to be met to the existing buildings located northwest of the wetland.
  - b) Back-to-back 100-year and snowmelt storm event results were included for the proposed conditions but not for existing so it is unclear if the critical storm event elevations are increasing or being modified from existing conditions to confirm there would not be an impact to the existing buildings.
24. There is a slight increase in rates proposed at the northwest corner of the project in the 100-year storm event (0.07 cfs). This is directed to Flink Avenue which has an existing ditch section and is not anticipated to have any negative downstream impacts, assuming the provided modeling can be verified against updated civil plans.

**In any resubmittal from the applicant, we request that the comments above be restated, and the applicant identify how each comment was addressed.** Any questions or comments can be directed to Justin Messner at [jmessner@wsbeng.com](mailto:jmessner@wsbeng.com).



**Prepared By: Ryan Saltis, City Planner**

**Presenter: Ryan Saltis, City Planner**

**Date: 04/30/2026**

**Board & Commission: Planning Commission**

**Subject: Rezoning and Comprehensive Plan Amendment - PID 11.00458.00**

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**Rezoning and Comprehensive Plan Amendment - PID 11.00458.00**

**Voting Requirements:**

**Voting Options          Simple Majority**

### **Recommended Planning Commission Action**

1. Motion to recommend approval/denial of the proposed Comprehensive Plan/Map Amendment to re-guide the subject property (PID 11.00458.00) from Land Use Rural Residential (LURR) to Land Use Agricultural District (LUAG) with conditions and findings of fact.
2. Motion to recommend approval/denial of rezoning the subject property (PID 11.00458.00) from RR – Rural Residential to AG – Agricultural District with conditions and findings of fact as presented by Staff.

### **Overview / Background**

A request has been proposed for a Comprehensive Plan/Map Amendment and Rezoning from Rural Residential (RR) to Agricultural District (AG) at PID 11.00458.00. The applicant, Johnathon Sanders, intends to rezone the parcel from RR to AG to operate a Farm Winery on the property. The parcel is currently zoned RR – Rural Residential, where crop production is permitted; however, a Farm Winery is not an allowed use. Farm Wineries are permitted within the AG – Agricultural zoning district.

A Rezoning and Comprehensive Plan Amendment from RR to AG would allow the winery use by right and enable the project to proceed. The applicants have also indicated plans to construct a barn (Agricultural Building) to support a vineyard and wine production activities. Agricultural structures of this type are permitted in the AG district; however, in the RR district, such a building would not be allowed without a principal residential structure on the property.

At the April 7<sup>th</sup> Planning Commission Meeting, City staff and the prospective applicant presented two options for consideration. The first is to amend the permitted uses table to allow Farm Wineries as a Conditional Use within the RR district. This approach would require both a text amendment and subsequent review and approval of a Conditional Use Permit, including the establishment of specific standards for such operations. The second option is to rezone the parcel to AG, which would allow the winery use by right and enable the project to proceed more immediately. Planning Commission members preferred to have the applicant move forward with a Comprehensive Plan Amendment and Rezoning, which is brought forward at this May 5<sup>th</sup> Planning Commission Meeting.

### **Issue(s) to Consider**

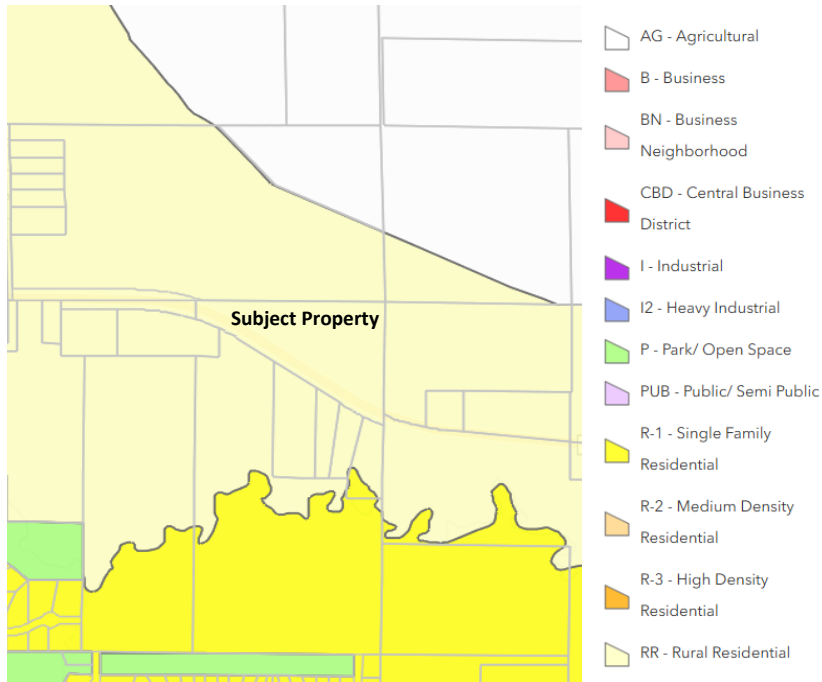
1. Land Use and Zoning
2. Comprehensive Plan Compatibility

### **Analysis of Issue(s)**

#### **1. Land Use & Zoning**

The Subject Property is guided **LURR**, per the Comprehensive Plan, and zoned **RR – Rural Residential**.

## Land Use Map Excerpt:



The 16 acre vacant parcel located at PID 11.00458.00 is currently zoned Rural Residential (RR) and is surrounded entirely by Rural Residential properties. The intent of this request is to rezone to Agricultural (AG) and regulate the Land Use of this parcel as Agricultural (LUAG). The parcel is located east of North Branch off of HWY 95, in which all properties directly off of this roadway are currently zoned RR – Rural Residential. The subject property is just south of land designated as AG, designated in white on the above zoning map excerpt.

Properties immediately adjacent to the north and east of the site have historically been used for farming and agriculture. The proposed rezoning of this 16 acre parcel seems to fit the surrounding area and uses, while being over the 10 acre minimum for AG zoned properties.

The proposed comprehensive plan amendment would remove the area guided as Rural Residential by approximately 16 acres and increase the guided area as Agricultural by the same amount. When considering comprehensive plan amendments, it is important to consider the overall mix of uses, compatibility of uses, and future development potential before and after the change.

## 2. Comprehensive Plan Compatibility

Analysis of the Rural Residential (RR) and Agricultural District (AG) are provided below. Comments from city staff are *italicized and bolded*:

### *DIVISION 9 RR RURAL RESIDENTIAL DISTRICT*

#### **Sec 66-447 Purpose**

The purpose of the RR rural residential district is:

- To prevent scattered nonfarm uses from developing improperly.
- To allow suitable areas of the city to be retained and utilized in open space and/or agricultural uses.
- To promote orderly development and secure economy in government expenditures for public utilities and service.

DIVISION 7 AG AGRICULTURAL DISTRICT

**Sec 66-384 Purpose**

The purpose of the AG agricultural district is to preserve, promote, maintain and enhance the use of land for agricultural purposes and to protect such land from encroachment by nonagricultural uses.

**The use of the parcel is intended to initially be a Farm Winery with crop plantings and an Ag building for wine production. A single family residence is proposed for a future phase and fits the purpose of both the RR Rural Residential District and AG Agricultural District. These zoning districts are similar in purpose, however the permitted uses for each district differ. Based on the Zoning District Use Table, Agricultural zoned parcels show more permitted uses than parcels zoned Rural Residential. Permitted uses in Agricultural Zoned parcels that are not permitted in Rural Residential include the following:**

- **Ag building accessory structures**
- **Farm Wineries**

**Approving the rezoning of the parcel would allow the above operations on this site and should be considered by the Planning Commission.**

The Dimensional & Design Standards Table provides minimums for zoning districts in which this parcel will have to meet in order to rezone/reguide to AG.

**Dimensional & Design Standards Table**

Use	R-1 single family	R-1, 2 family dwellings, per unit	R-2, single family	R-2, 2 family dwellings, per unit	R-2, 3-6 attached units, per townhouse	R-3, 2 family dwellings, per unit	R-3 3-6 attached units - per townhouse	R-3: 7+ attached units and condominiums (see below for apartment standards) <sup>H</sup>	R -3 detached single family	RR	AG
Front yard setback- interior in ft - at lot line or ROW	30	30	30	30	30	30	30	30	30	40	50
Lot Width - corner - in ft at front set-back line	80	50	80	50	150	50	150	150	50	110	300
Lot Width - in ft - at front set-back line	80	50	80	50	150	50	150	150	50	110	300
Ditch easement - in ft	45	45	45	45	45	45	45	45	45	45	45
Rear yard setback- interior lot - in ft	30	30	30	30	30	30	30	30	30	30	50
Rear-yard setback corner lot - in ft	15	15	15	15	15	15	15	30	15	15	50
Side set-back- interior lot - in ft	6	6', 0' for attached portion of unit	6	6', 0' for attached portion of unit	6', 0' for attached portion of unit	6', 0' for attached portion of unit	6', 0' for attached portion of unit	10	6	10	50
Side setback- corner - in ft	30	30	30	20	30	30	20	30	30	30	50
Lot Depth - minimum in ft	100	100	100	100	100	100	100	100	100	300	500
Minimum Lot Size - sq ft	12,000	7,500	12,000	6,500	2,000	6,500	2,000	Not more than 35% of the lot shall be covered by all buildings.	6,500	1 acre buildable	10 acres
Maximum base density	1-4 units per acre	1-4 units per acre	1-6 units per acre	1-6 units per acre	1-6 units per acre	6+ units per acre	6+ units per acre	6+ units per acre	6+ units per acre	1 house per buildable acre	1 SF home
Minimum Principal building size sq ft - main floor, per dwelling <sup>C</sup>	800	800	800	800	800	800	800	800	800	800	800

After reviewing minimum lot depths, lot widths and lot sizes, the parcel would meet the requirements for rezoning to AG.

The Land Use & Growth section of the 2018 North Branch Comprehensive Plan addresses distinctions between zoning districts and gives direction for land uses. The Agriculture and Rural Residential District from the Land Use & Growth section of the Comprehensive Plan are described below:

### ***Agriculture (AG1 and AG2)***

*Over one-third of the city's land area (37.6%) is currently used for agricultural purposes. Housing densities are low, and this zoning is characterized by active farms, hobby farms and homes on large lots. The northeast corner of the city is the historic river bottom of the St. Croix River and is framed by the historic river bluff line. Soils are well suited for sod farming and the production of produce. By maintaining a low density of development, it is the City's intent to preserve and protect the many natural resources found in this part of North Branch, including lakes, streams, wetlands and woodlands.*

### ***Rural Residential (RR)***

*Rural Residential makes up 9,961 acres or 43% of the total acreage in the City of North Branch. This land use is largely characterized by single family residences set on larger lot sizes to accommodate onsite sewage treatment systems. Some of these areas are located within the city's designated Urban Service Area and no new development is allowed within this zoning district without connecting to municipal services. Areas located outside of the Urban Service Area must meet a minimum buildable acre standard so as to ensure that there is sufficient land area with the appropriate soil separation to support both a primary and a future secondary on-site sewage treatment system.*

The Planning Commission should examine these distinctions between zoning districts when considering the rezoning of the subject parcel from RR Rural Residential to AG Agricultural. The parcel and existing uses shall be thought about whether or not they fit into the definition and guided land use of the Agricultural District.

### **Sec 66-64 Findings of Fact**

In considering all requests for variances, appeals, amendments or conditional use permits, the planning agency and the city council shall make a finding of fact. Its judgment shall be based upon, but not limited to, the following factors:

1. Relationship to the city's comprehensive plan;
2. The geographical area involved;
3. The character of the surrounding area;
4. The availability and design capacities of existing or proposed utilities;
5. Whether such a request will tend to or actually depreciate the surrounding area;
6. Whether the request will place an undue financial burden on the city;
7. Whether the request will impair an adequate supply of light and air to adjacent property;
8. Whether the request will unreasonably increase the congestion in the public right-of-way;
9. Whether the request will increase the danger of fire or endanger the public safety;
10. Whether the request is consistent with the spirit and intent of this division.

### **Staff Recommendation**

Motion to recommend approval of the Comprehensive Plan/Map Amendment and rezoning from RR- Rural Residential to AG – Agricultural District.

### **Recommended Planning Commission Action**

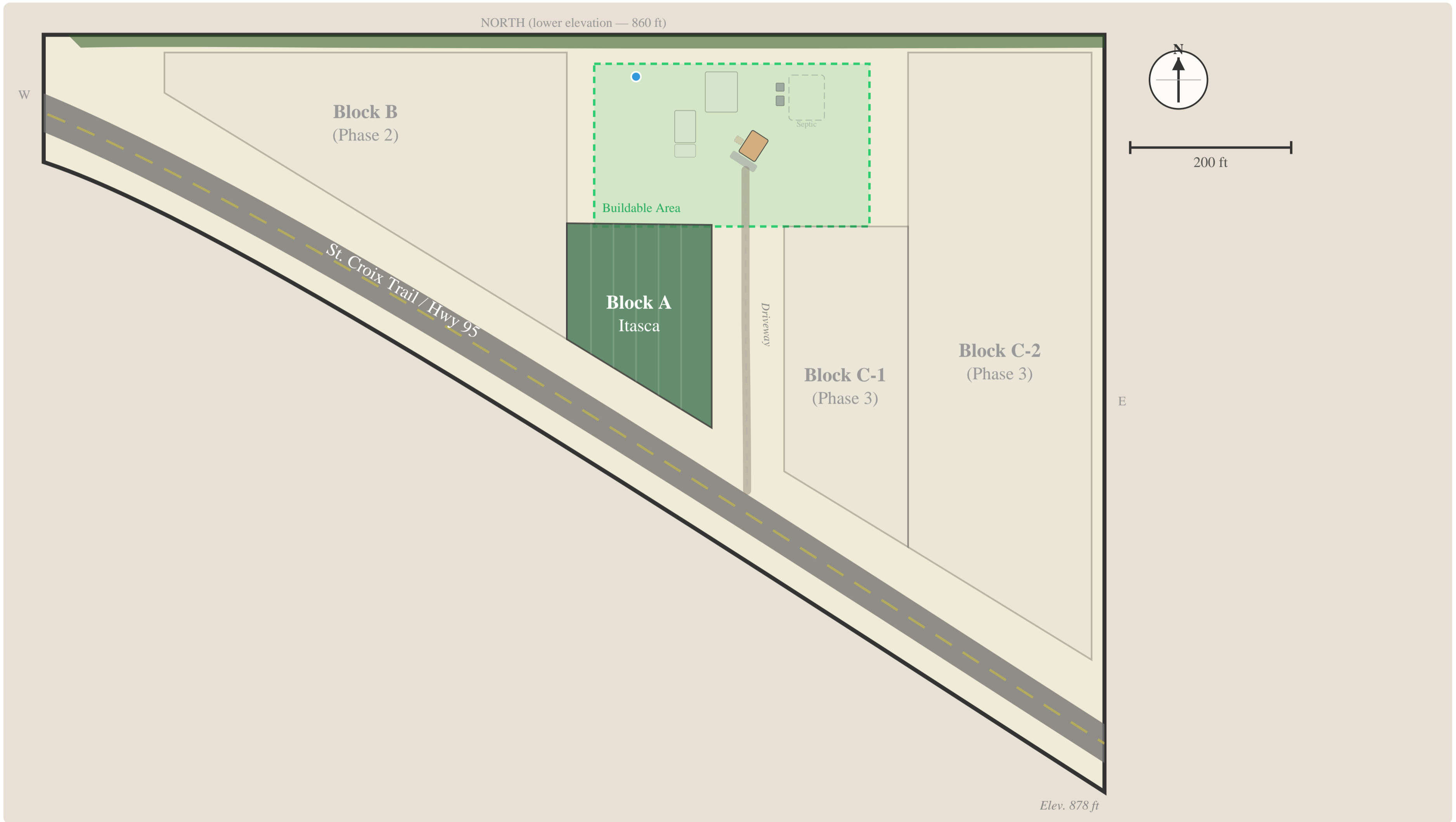
1. Motion to recommend approval/denial of the proposed Comprehensive Plan/Map Amendment to re-guide the subject property (PID 11.00458.00) from Land Use Rural Residential (LURR) to Land Use Agricultural District (LUAG) with conditions and findings of fact.

2. Motion to recommend approval/denial of rezoning the subject property (PID 11.00458.00) from RR – Rural Residential to AG – Agricultural District with conditions and findings of fact as presented by Staff.

# Proposed North Branch Vineyard & Winery

Phase 1 — Build + Plant — Full View

St. Croix Trail, North Branch, MN | 16.02 Acres | Zone 4a



# Proposed North Branch Vineyard & Winery

Phase 1 — Build + Plant — Buildings Zoom

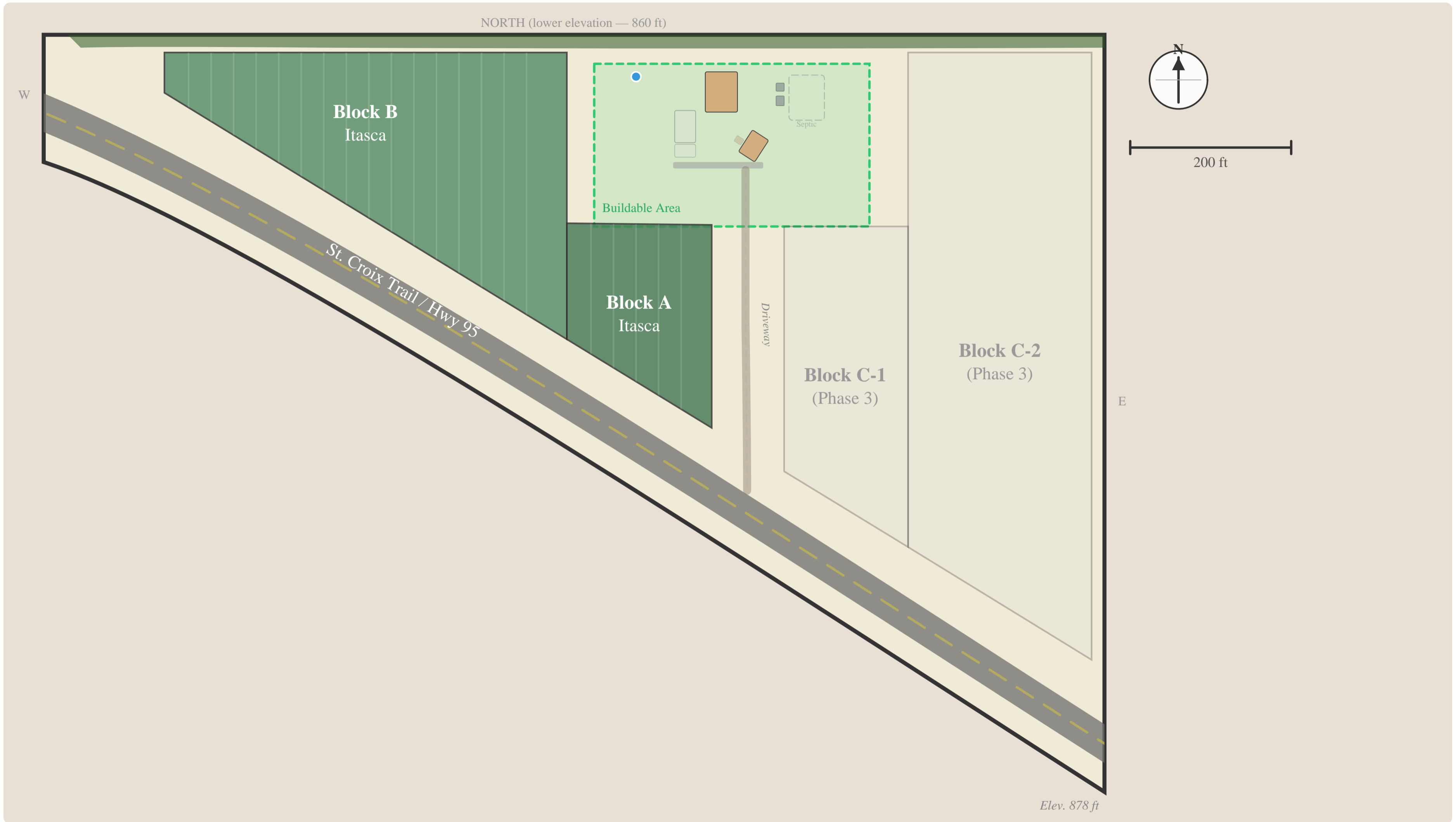
St. Croix Trail, North Branch, MN | 16.02 Acres | Zone 4a



# Proposed North Branch Vineyard & Winery

Phase 2 — Expand — Full View

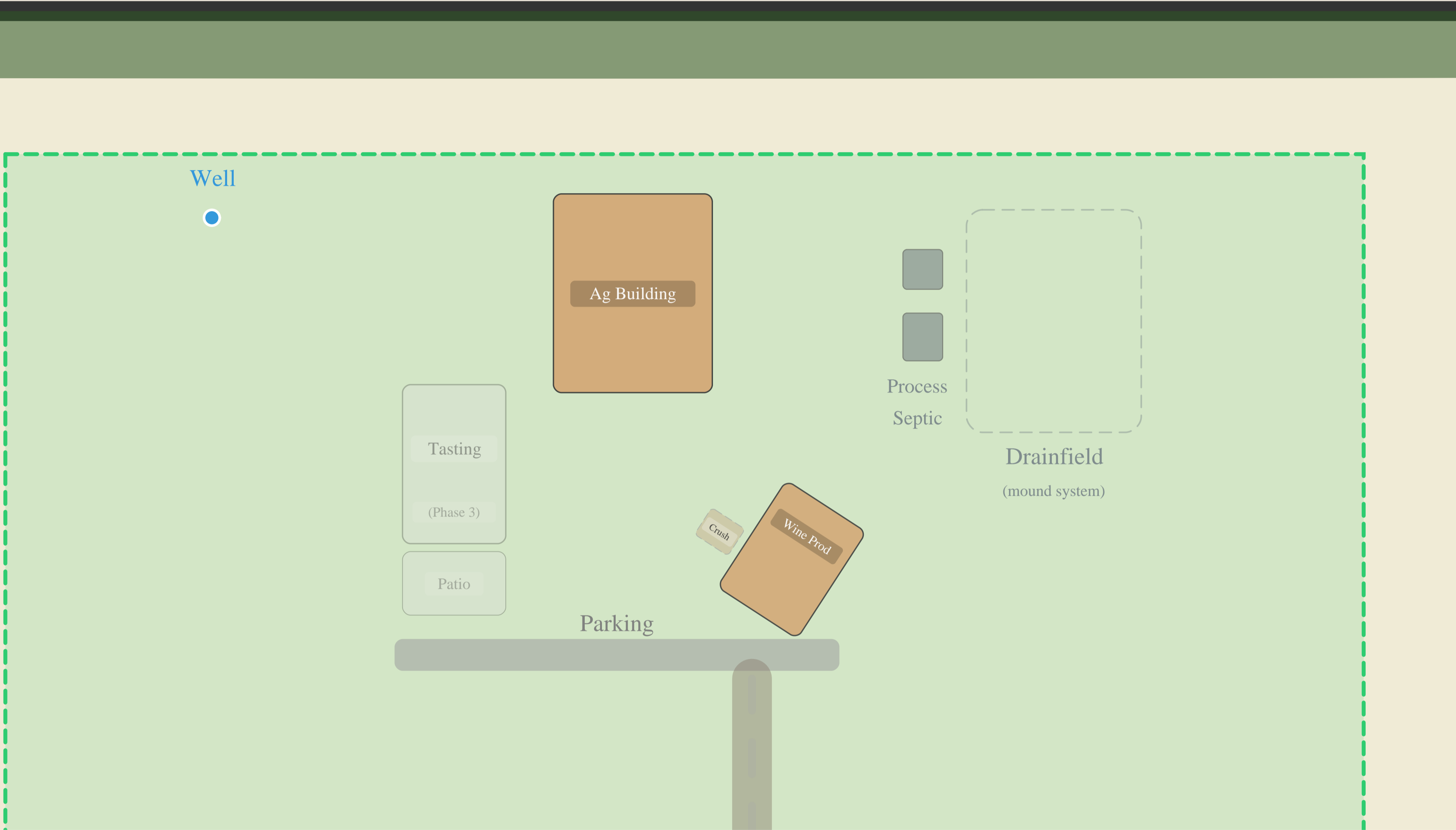
St. Croix Trail, North Branch, MN | 16.02 Acres | Zone 4a



Proposed North Branch Vineyard & Winery

Phase 2 — Expand — Buildings Zoom

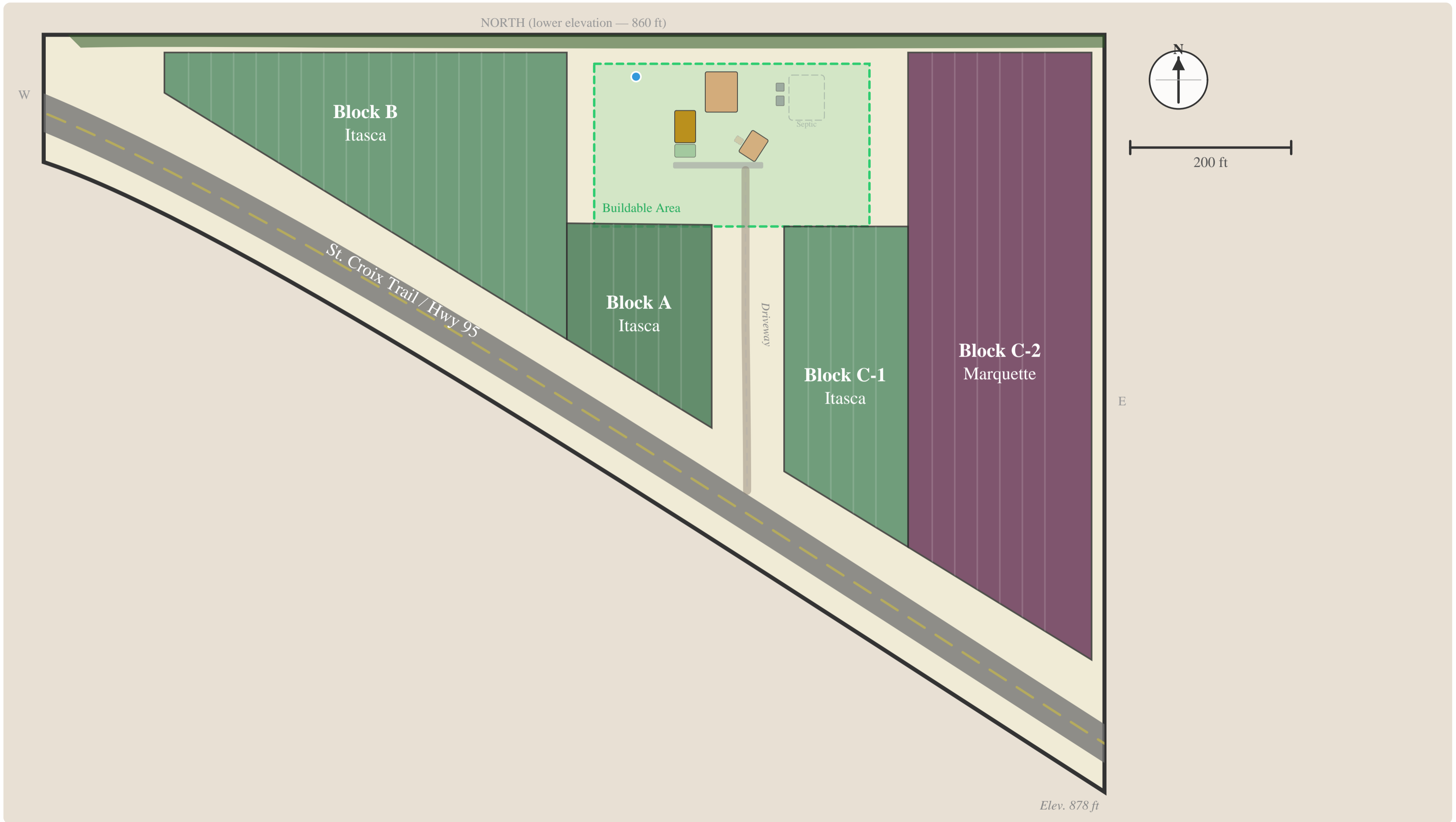
St. Croix Trail, North Branch, MN | 16.02 Acres | Zone 4a



# Proposed North Branch Vineyard & Winery

Phase 3 — Destination — Full View

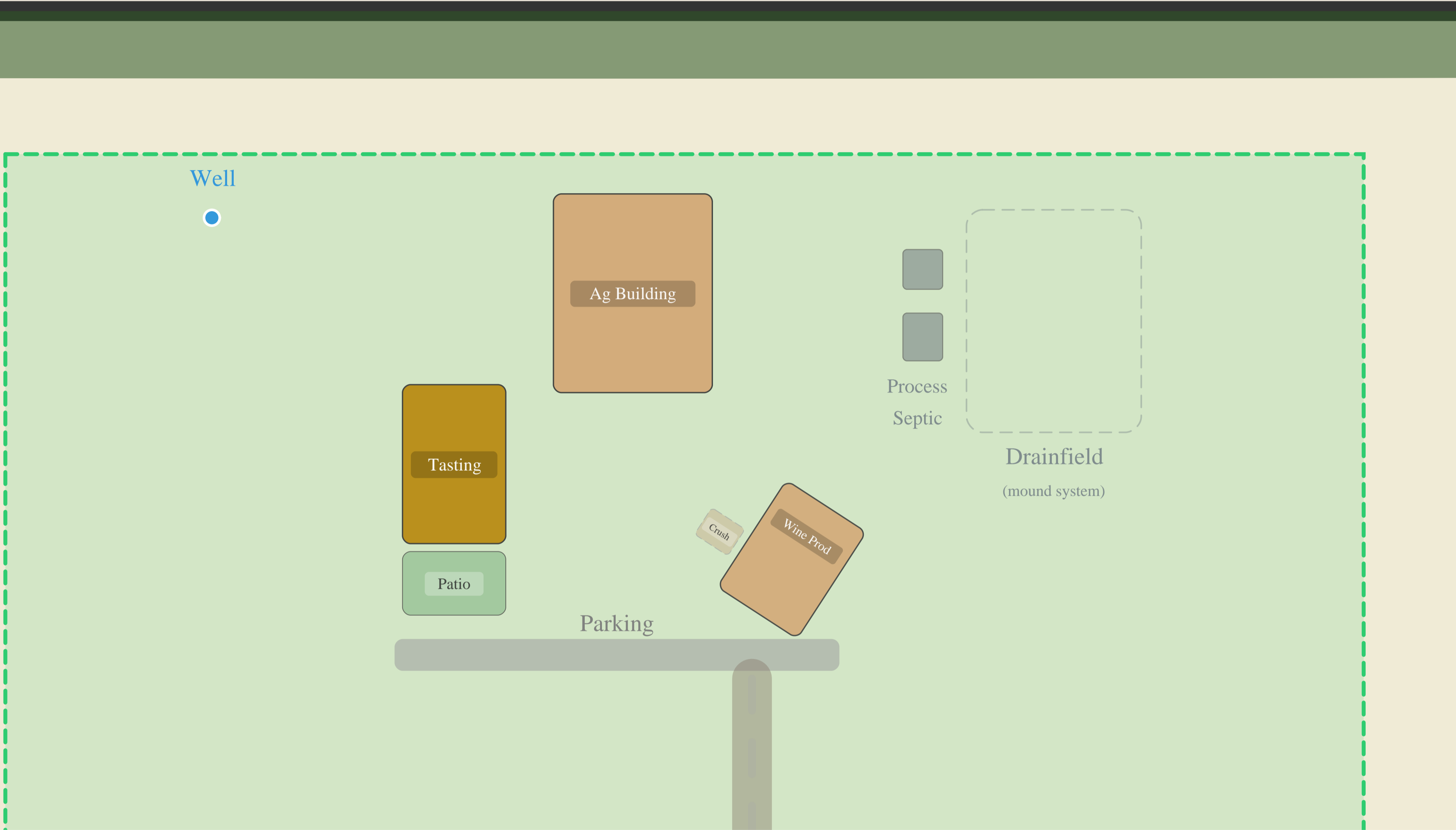
St. Croix Trail, North Branch, MN | 16.02 Acres | Zone 4a



Proposed North Branch Vineyard & Winery

Phase 3 — Destination — Buildings Zoom

St. Croix Trail, North Branch, MN | 16.02 Acres | Zone 4a



## **Sanders Proposed Vineyard and Farm Winery**

My wife and I plan to establish a small vineyard and winery operation on this parcel. The intent is to develop the property as a working agricultural use centered around grape growing and small-scale wine production. The primary use of the property would be vineyard cultivation, with buildings serving agricultural and wine production functions that support that use.

The parcel has characteristics that are well suited for grape growing, including favorable soils, slope, drainage, and sun exposure. These conditions make the site particularly appropriate for vineyard cultivation, and we believe the property has strong potential to function as a productive agricultural property over the long term.

The project would be developed in several phases as the vineyard becomes established and the operation grows.

### **Phase 1 – Initial Vineyard Planting and Production Building**

The first phase would involve planting an initial block of vineyard and constructing a small building to support wine production and vineyard operations. The building would serve as the primary space for fermentation, barrel storage, and other small-scale winemaking activities.

The building would also support vineyard operations, including equipment storage and workspace needed to maintain the vineyard.

During this phase, production volumes would be small as the vineyard becomes established. The focus during this stage would be learning the site, establishing healthy vines, and producing small quantities of wine.

Occasionally, small private tastings may take place within the production building by appointment. These would be limited in size and frequency and would typically involve small groups interested in seeing the vineyard and learning about the wine produced on the property.

Grapes produced on the property may also be sold to other wineries as part of normal agricultural production.

### **Phase 2 – Vineyard Expansion and Agricultural Building**

As the vineyard expands, additional blocks of grapes would be planted across more of the property.

A second building may be added during this phase to support the growing agricultural needs of the operation. This building would primarily house vineyard equipment,

agricultural storage, and other farming-related functions as the acreage under cultivation increases.

### **Phase 3 – Full Vineyard Development and Potential Tasting Space**

Over time, additional vineyard blocks would be planted until the majority of the parcel suitable for cultivation is established as vineyard.

The intent is for the vast majority of the parcel to remain planted vineyard acreage, with only a small portion of the property used for buildings and operational space that support agricultural production.

At this stage, depending on how the operation develops, a tasting space may be considered so that wine tasting activities can occur separately from the production area. This would allow the production facility to remain focused on winemaking while providing a space for visitors.

This phase would likely occur many years into the future and only if it makes sense based on the scale of the vineyard and winery.

### **Long-Term Vision**

The long-term goal is for the parcel to function primarily as a vineyard, with most of the land planted in grapes and a small number of buildings supporting agricultural and wine production activities.

Establishing a vineyard would allow the property to remain in productive agricultural use while preserving the open rural character of the area. Development on the parcel would remain limited in scale, with most of the land dedicated to agricultural production rather than structures or intensive development.



**Prepared By: Ryan Saltis, City Planner**

**Presenter: Ryan Saltis, City Planner**

**Date: 04/30/2026**

**Board & Commission: Planning Commission**

**Subject: Westside Commons 3rd Addition - Preliminary Plat**

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## **Westside Commons 3rd Addition - Preliminary Plat**

**Voting Requirements:**

**Voting Options      Simple Majority**

## **Recommended Planning Commission Action**

Motion to recommend approval of the Preliminary Plat request for Westside Commons 3<sup>rd</sup> Addition, with the conditions of approval listed in this report.

## **Overview / Background**

GS2 LLC, with Westwood Professional Services acting as the applicant, has submitted a request for a Preliminary Plat for Westside Commons 3<sup>rd</sup> Addition. The subject property is located at the southwest corner of Highway 95 and Falcon Ave and is legally described as Outlot A, Westside Commons 2<sup>nd</sup> Addition.

The purpose of the proposed plat is to subdivide the existing outlot to accommodate future development, including a senior living facility and associated infrastructure improvements. The Preliminary Plat includes the creation of one buildable lot, public right-of-way, and outlots for drainage and future development.

The subject site contains approximately 27.9 acres and is guided for B-Business within the City's Comprehensive Plan.

## **Issue(s) to Consider**

1. Land Use and Zoning
2. Proposed Preliminary Plat
3. Plat Standards
4. Engineering and Infrastructure

## **Analysis of Issue(s)**

### **1. Land Use & Zoning**

The Subject Property is guided **LUB – Land Use Business** per the Comprehensive Plan, and zoned **B – Business**.

Senior Communities for Independent or Assisted Living is a Permitted Use in the B-Business Zoning District. This is consistent with the nearby Boka Haven development. The proposed preliminary plat supports the development of a senior living facility and associated site improvements, which is consistent with the City's Comprehensive Plan and the evolving character of the Highway 95 corridor.

Staff finds the proposed plat to be generally consistent with the City's land use guidance and development objectives for this area.

### **2. Proposed Preliminary Plat**

The Preliminary Plat for Westside Commons 3<sup>rd</sup> Addition proposes the following:

- Creation of Lot 1, Block 1, intended for a future senior living facility (building footprint shown on plan)
- Dedication of public right-of-way for the 386<sup>th</sup> Street extension
- Creation of Outlot A for drainage and stormwater management
- Creation of Outlot B for future development
- Dedication of drainage and utility easements throughout the site

The layout provides a logical configuration that supports both the proposed development and future expansion of the surrounding area. The plat also ensures connectivity to existing roadways and utilities.

### 3. Plat Standards

Lots created by plat are required to meet minimum lot area, width, and depth requirements as established by City Code for the applicable zoning district. The lots created through this platting process are required to meet the following:

Type	Lot Standards		
	Area (sf)	Width	Depth
B – Business	5,000	50'	100'

Lot / Block	Area (Acres)	Min Depth	Proposed Depth	Min Width	Proposed Width
Lot 1, Block 1	4.71	100 ft	585 ft	50 ft	350 ft
Outlot A	6.16	100 ft	584 ft	50 ft	459 ft
Outlot B	16.35	100 ft	657 ft	50 ft	1258 ft

Based on review of the Preliminary Plat:

- The proposed lot exceeds minimum area requirements for the B – Business Zoning District
- Lot dimensions appear adequate to support the intended development
- Outlots are appropriately designated for drainage and future use

Staff finds that the Preliminary Plat generally meets the applicable subdivision standards of the City Code.

### 4. Engineering and Infrastructure

#### Streets & Access

The development includes the construction of the 386<sup>th</sup> Street extension, which will provide primary access to the site.

Key roadway elements include:

- Approximately 85-foot right-of-way with a 49-foot face-to-face roadway section
- Typical urban street section including curb and gutter, boulevard, and sidewalk
- A temporary cul-de-sac is proposed to accommodate phased development

This extension improves connectivity and supports future development in the Westside Commons area.

#### Utilities

- 12-inch watermain extension along 386<sup>th</sup> Street
- Sanitary sewer extensions, including approximately 350 linear feet of 10-inch sanitary sewer
- Hydrants and gate valves placed throughout the site

Utility plans will be subject to detailed review during final engineering.

### Stormwater & Drainage

Stormwater Management is addressed through:

- Construction of proposed stormwater pond
- Installation of storm sewer infrastructure, including:
  - 24-inch storm sewer lines
  - Catch basins and manholes
- Designated drainage outlots and easements

Detailed stormwater calculations and final design will be reviewed during final plat and site plan approval.

### Grading & Erosion Control

The plans include erosion control measures such as:

- Silt fence and inlet protection
- Construction entrance to prevent tracking
- Erosion control blanket and temporary stabilization measures

All erosion control measures must be installed prior to construction and maintained throughout development.

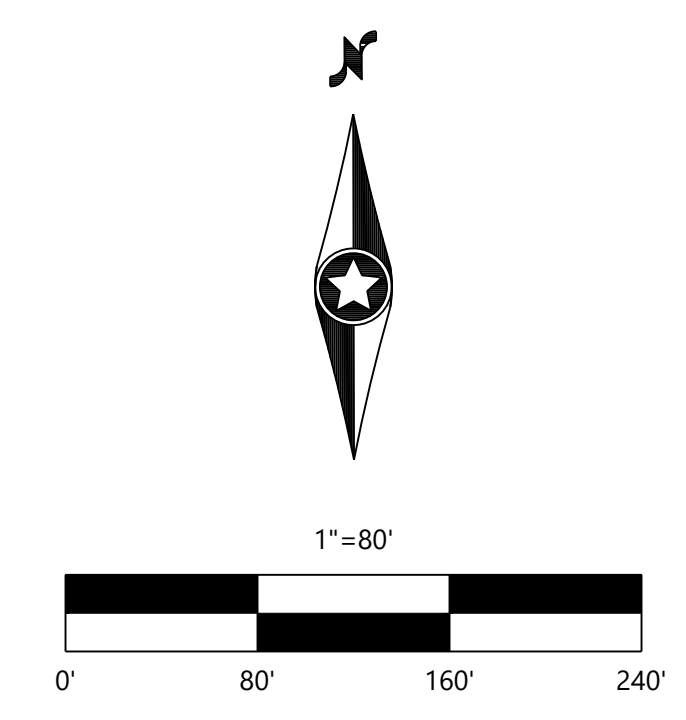
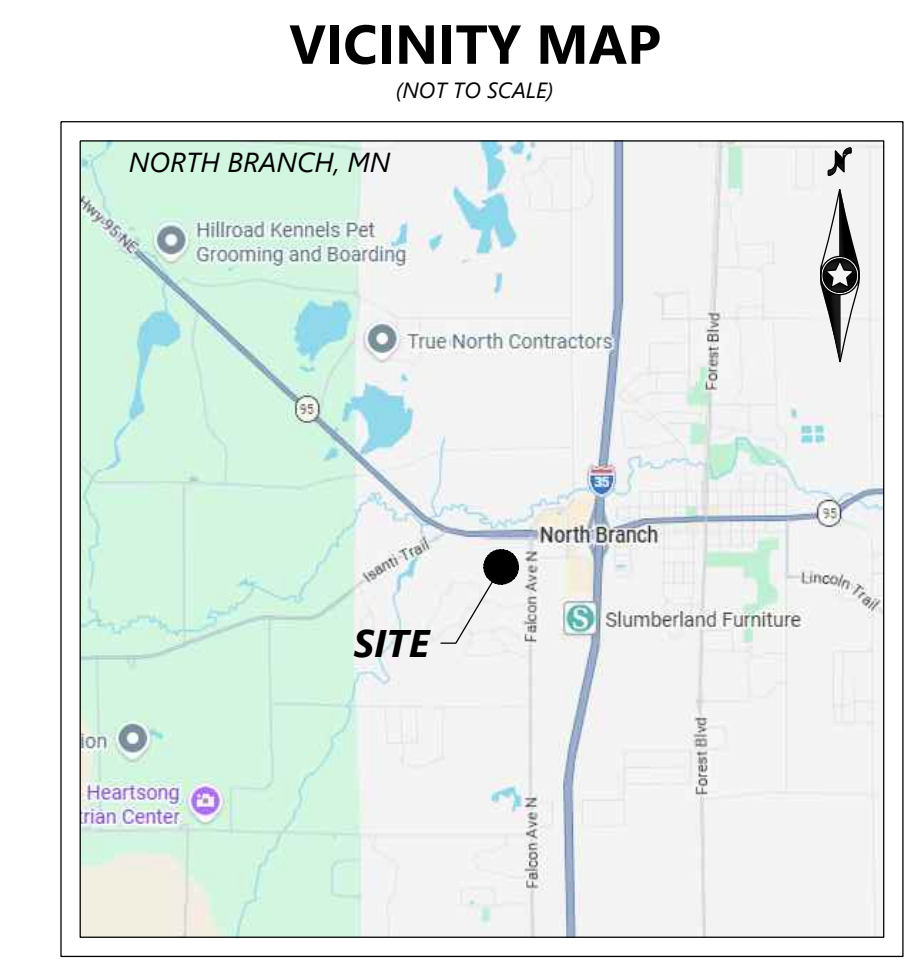
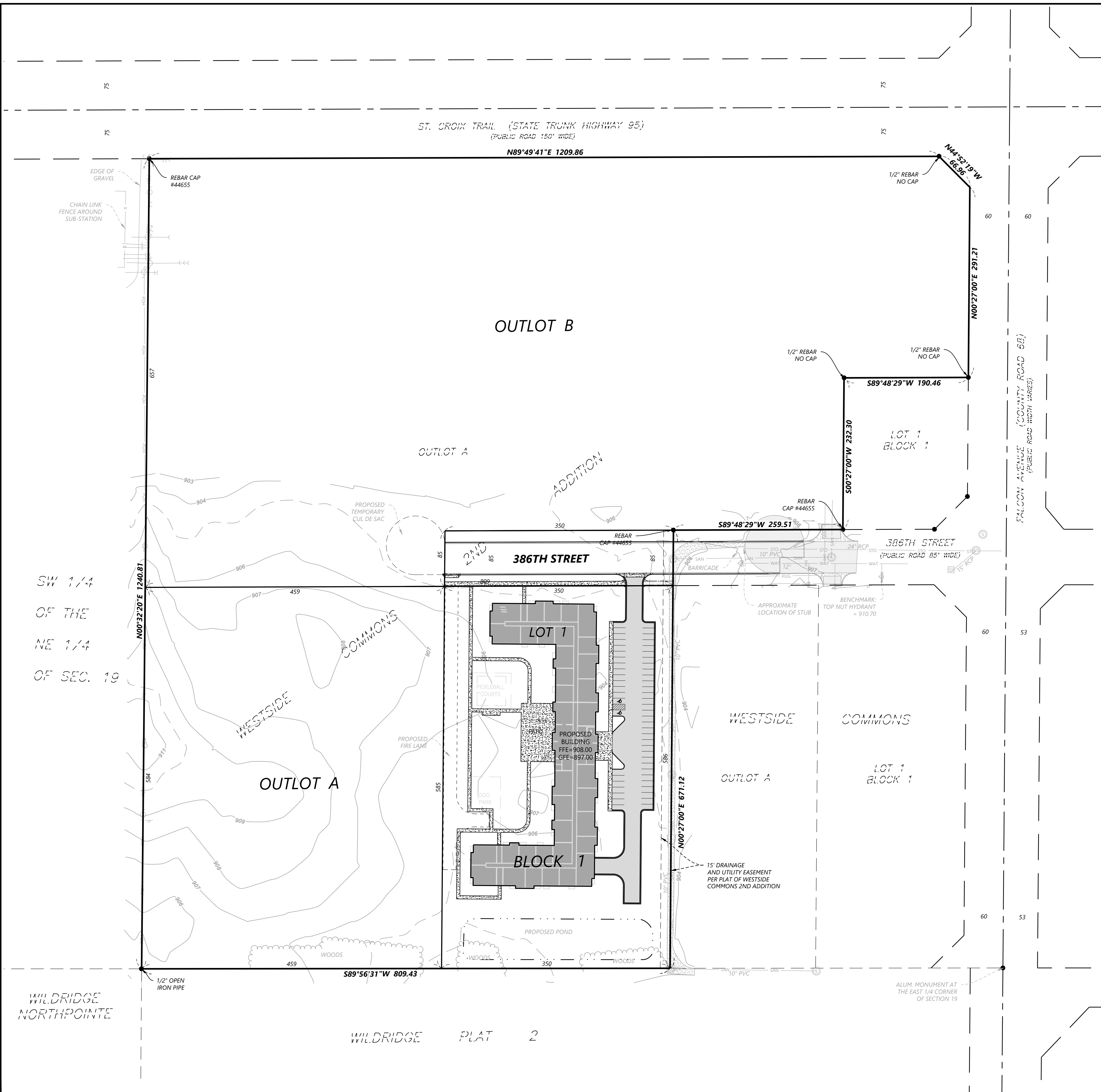
### **Staff Recommendation**

City staff recommends approval of the Preliminary Plat request for Westside Commons 3rd Addition, subject to the conditions outlined below.

### **Recommended Planning Commission Action**

Motion to recommend approval to City Council, approving the Preliminary Plat for Westside Commons 3<sup>rd</sup> Addition, with the following conditions:

1. The applicant shall submit and obtain approval of a Final Plat that is consistent with the approved Preliminary Plat, City Code, and Minnesota Statutes.
2. The applicant shall submit detailed engineering, utility, stormwater, grading, and erosion control plans for review and approval.
3. A Development Agreement shall be executed addressing the installation of public improvements, including the 386<sup>th</sup> Street extension and associated utilities.
4. All required permits, fees, and financial obligations shall be satisfied prior to recording of the Final Plat.
5. Any required right-of-way and easements shall be dedicated as shown on the Preliminary Plat.



**SITE LEGEND EXISTING**

- SANITARY MANHOLE
- STORM MANHOLE
- CATCH BASIN
- HYDRANT
- GATE VALVE
- GUY WIRE
- POWER POLE
- SIGN
- OVERHEAD ELECTRIC LINE
- GAS LINE
- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- FENCE LINE
- CURB & GUTTER
- CONCRETE SURFACE
- BITUMINOUS SURFACE
- GRAVEL SURFACE

**AREA CALCULATIONS**

AREA TABLE			
	LOT	AREA	
1	LOT 1 BLOCK 1	204,988 SF	4.71 AC
2	OUTLOT A	268,382 SF	6.16 AC
3	OUTLOT B	712,237 SF	16.35 AC
4	DEDICATED ROW	29,750 SF	0.68 AC
<b>TOTAL</b>		<b>1,215,358 SF</b>	<b>27.90 AC</b>

**LEGAL DESCRIPTION**

Outlot A, WESTSIDE COMMONS 2ND ADDITION, Chisago County, Minnesota.

**GENERAL NOTES**

- Bearings of property lines shown hereon are based on the Chisago County coordinate system, (NAD 83 - 2011 Control Adjustment).
- Lengths of lines and distances between features are measured in US-Survey Feet.
- Elevations and ground contours shown hereon are relative to the NAVD88 vertical datum and are relative to MNDOT Benchmark Otterness 2 which has an elevation of 902.87'.
- The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although the surveyor does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities. (Gopher State One Call ticket number: 260630357)

FIELD CREW: JFW	CHECKED: MAS	DRAWN: MLH	HORIZONTAL SCALE: 80'
INITIAL ISSUE	REVISIONS:		

PREPARED FOR:  
**DBS GROUP, LLC**

**WESTSIDE COMMONS 3RD ADDITION**

**Westwood**  
 12701 Whitehawk Drive, Suite #200  
 Minneapolis, MN 55343  
 Phone: (888) 937-5150  
 Fax: (888) 937-5150  
 Toll Free: (888) 937-5150  
 westwoodps.com  
 Westwood Professional Services, Inc.

**PRELIMINARY PLAT**

SHEET NUMBER:  
**1 of 1**

DATE: 04/03/26

PROJECT NUMBER: 0078006.00  
Page 53 of 103

WESTSIDE COMMONS 3RD ADDITION



**Prepared By: Ryan Saltis, City Planner**

**Presenter: Ryan Saltis, City Planner**

**Date: 04/30/2026**

**Board & Commission: Planning Commission**

**Subject: Side Setbacks in Residential Zoning Districts**

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## **Side Setbacks in Residential Zoning Districts**

**Voting Requirements:**

**Voting Options      Simple Majority**

## Report

Discussion of Potential Text Amendment – Increasing Minimum Side Yard Setbacks from 6 Feet to 10 Feet

### Overview / Background

City staff has prepared this report to facilitate discussion regarding a potential amendment to the Zoning Code to increase minimum interior side yard setbacks from 6 feet to 10 feet in zoning districts where a 6-foot setback is currently permitted.

As shown in the City's Dimensional and Design Standards Table, several residential zoning districts—including portions of R-1, R-2, and R-3 districts currently allow 6-foot interior side setbacks, particularly for single-family and certain attached housing types.

At this time, no formal application or ordinance is under consideration. This report is intended to provide an overview of potential impacts, benefits, and challenges to assist the Planning Commission in determining whether further study or direction is warranted.

### Analysis

The potential amendment would increase the minimum interior side yard setback to 10 feet, aligning these districts more closely with others that already require larger setbacks. The following sections outline key considerations when analyzing impacts to residents, developers/builders, and the city. Cost considerations are also analyzed further.

#### Impacts to Residents

Potential Benefits:

- **Increased Privacy:** Additional distance between homes may reduce noise and visual impacts between neighboring properties.
- **Improved Access & Maintenance:** Larger side yards provide more space for maintenance, drainage, and utility access.
- **Enhanced Light and Air:** Greater spacing can improve natural light and ventilation between structures.
- **Fire Safety:** Increased separation may improve fire protection and emergency response access.

Potential Challenges:

- **Reduced Buildable Area:** Particularly on smaller lots, increased setbacks may limit home size or placement options.
- **Existing Development Pattern:** Established neighborhoods with narrower spacing may not reflect the proposed standard.
- **Nonconformities:** Existing homes built under the 6-foot standard would likely become legal nonconforming structures.

### Impacts to Developers & Builders

#### Potential Benefits:

- Marketability: Wider spacing between homes may appeal to buyers seeking lower-density residential character.
- Consistency: Standardizing setbacks across districts may simplify zoning interpretation and development review.

#### Potential Challenges:

- Reduced Lot Yield: Larger setbacks may decrease the number of buildable lots or require larger lot sizes.
- Design Limitations: Standard building plans may need modification to fit within narrower building envelopes.
- Plat Revisions: Concept plans or undeveloped subdivisions designed with 6-foot setbacks may require redesign.

### Impacts to the City

#### Potential Benefits

- Community Character: Increased setbacks may support a more open and spacious residential environment.
- Stormwater & Drainage: Additional pervious area between structures may improve drainage conditions.
- Infrastructure Coordination: Greater spacing may reduce conflicts with utilities and easements.

#### Potential Challenges

- Housing Affordability: Larger setbacks may increase development costs, which could impact housing prices.
- Land Use Efficiency: Reduced density may affect efficient use of land and infrastructure.
- Administrative Considerations: Managing nonconformities and transition standards may require additional staff review.

### Cost Considerations

#### Developers:

- Increased cost per unit due to reduced density
- Potential redesign costs for site layouts and building plans

#### Homeowners:

- Possible increase in home prices
- Potential long-term value benefits associated with increased spacing

#### City:

- Possible reduction in tax base efficiency on a per-acre basis
- Limited direct fiscal impact, but potential increase in administrative review complexity

## Planning Considerations

- The current zoning table reflects a mix of 6-foot and 10-foot side setbacks, depending on district and housing type .
- The 6-foot standard is most commonly associated with more compact residential development patterns.
- Consideration may be given to:
  - Whether a uniform standard is appropriate across all districts
  - Whether different standards should apply based on lot size or zoning district
  - How to address existing platted lots and nonconformities

## **Summary**

Increasing side yard setbacks from 6 feet to 10 feet presents a range of potential benefits related to privacy, safety, and neighborhood character, while also introducing considerations related to housing density, cost, and development flexibility. Larger setbacks may contribute to a more open development pattern and improved long-term livability, particularly in lower-density residential areas. However, the change could also reduce buildable area on individual lots, potentially impacting lot layout efficiency and limiting design options on narrower parcels.

Additionally, the amendment may have broader implications on housing affordability by increasing land costs per unit and reducing overall development yield in affected districts. The existing mix of setback standards across zoning districts reflects differing development intensities, and modifying these standards may alter how those districts function over time. Consideration should also be given to how such a change would apply to existing platted lots and whether flexibility or exemptions may be appropriate.

Overall, the potential amendment involves balancing community character objectives with practical development considerations, and further direction from the Planning Commission would help determine whether additional analysis or ordinance drafting is warranted.

## **Planning Commission Discussion**

This item is provided for discussion purposes only. Staff is seeking general feedback from the Planning Commission regarding:

- Whether the concept warrants further exploration
- Potential concerns or priorities related to setback standards
- Preferences for how such an amendment could be structured (if pursued)

No formal action is requested at this time.



**Prepared By: Ryan Saltis, City Planner**

**Presenter: Ryan Saltis, City Planner**

**Date: 04/30/2026**

**Board & Commission: Planning Commission**

**Subject: Maximum Density - R3 Zoning**

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Maximum Density - R3 Zoning

**Voting Requirements:**

**Voting Options          Simple Majority**

## Report

Discussion of Potential Text Amendment – Maximum Base Density in the R-3 Zoning District

### Overview / Background

City staff has been asked to evaluate a potential text amendment to the City Code that would establish a maximum base density within the R-3 High Density Residential zoning district. Currently, the Dimensional and Design Standards Table identifies the R-3 district as allowing “6+ units per acre” with no defined upper limit. The proposed amendment would revise this standard to a defined density range of 6 to 18 units per acre.

This report is intended to outline potential impacts, benefits, and considerations of establishing a maximum density cap. No formal action is requested at this time; this is for discussion and policy direction only.

The R-3 zoning district is intended to accommodate higher-density residential development, including townhomes, apartments, and multi-family housing.

As shown in the Dimensional and Design Standards Table, R-3 districts already include development controls such as:

- Maximum building height of up to 3 stories or 50 feet
- Impervious surface limits up to 70-75% depending on housing type
- Minimum lot size and building coverage limitations
- Setbacks and design requirements

While these standards regulate building form and site design, the absence of a maximum density allows for potentially high unit concentrations if other standards are met.

#### Proposed Amendment

Current Standard:

- Max Base Density: 6+ units per acre (no cap)

Proposed Standard:

- Maximum Base Density: 6 to 18 units per acre

This would introduce a clear upper limit on residential density within the R-3 district.

## Analysis

The following analysis outlines the potential impacts of establishing a maximum density of 18 units per acre within the R-3 zoning district. This amendment would influence how residential developments are designed and how they function within the community. The impacts are evaluated from multiple perspectives, including residents, developers, infrastructure, and overall land use planning, to provide a comprehensive understanding of the potential benefits and challenges associated with implementing a defined density cap.

### Impacts to Residents

#### Potential Benefits:

- Greater predictability in neighborhood character and intensity
- Reduced concerns related to overcrowding, parking demand, and traffic congestion
- Improved compatibility with adjacent lower-density zoning districts

#### Potential Challenges:

- May limit availability of diverse and more affordable housing types
- Could reduce opportunities for compact, walkable development patterns
- Potential upward pressure on housing costs due to constrained supply

### Impacts to Developers

#### Potential Benefits:

- Provides clear expectations and certainty for project planning
- Aligns density with infrastructure and site design constraints
- May reduce community opposition by limiting perceived overdevelopment

#### Potential Challenges:

- Reduced flexibility in site design and yield optimization
- Lower overall unit counts may impact project feasibility and return on investment
- Could discourage higher-density or mixed-use style developments

### Infrastructure and Service Impacts

#### Potential Benefits

- Helps ensure density levels remain consistent with available infrastructure capacity
- Reduces strain on utilities, roadways, and public services
- Easier long-term planning for schools, parks, and emergency services

#### Potential Challenges

- Lower densities may result in less efficient use of existing infrastructure
- Could increase per-unit cost of infrastructure expansion or maintenance

### Cost Considerations

#### Developers:

- Fewer units per acre may increase per-unit land and development costs
- Potential need for higher sale or rental prices to offset reduced density

#### City:

- Lower densities may reduce tax base potential per acre
- Lower residential density may reduce overall demand on public infrastructure systems; however, it may also decrease cost efficiency as infrastructure serves fewer households

### Planning Considerations

- A maximum density aligns R-3 zoning with common planning practices that define both minimum and maximum thresholds
- Helps reinforce transitions between zoning districts
- Supports long-term comprehensive planning goals if density targets are defined

However:

- May limit the City's ability to accommodate future housing demand
- Could reduce flexibility in responding to market conditions

### Key Policy Considerations

When evaluating this amendment, decision-makers may wish to consider:

- Whether 18 units per acre appropriately reflects the desired intensity of R-3 zoning
- If different density caps should apply to different housing types (apartments vs. townhomes)
- How this change aligns with the City's Comprehensive Plan and housing goals
- Whether additional design standards could achieve similar outcomes without limiting density

### **Summary**

Establishing a maximum base density in the R-3 zoning district would introduce greater predictability and control over residential development intensity. While this may benefit neighborhood compatibility and infrastructure planning, it may also reduce development flexibility and impact housing affordability. Careful consideration of long-term planning goals and market conditions will be important in determining whether to proceed with the proposed amendment.

For a city such as North Branch that has a limited supply of apartment complexes, establishing a maximum density cap of 18 units per acre in the R-3 zoning district could constrain the City's ability to expand its housing inventory and meet future demand. Higher-density residential development often relies on increased unit counts to remain financially feasible, and limiting density may reduce overall project viability, discourage apartment-style developments, and shift construction toward lower-density housing types. This could result in fewer housing options for renters, seniors, and smaller households, while also increasing per-unit development costs that may be passed on through higher rents or sale prices. Additionally, lower density may lead to less efficient use of existing infrastructure and reduce the City's ability to maximize its tax base per acre. In comparison to neighboring communities without similar restrictions, North Branch may also be at a competitive disadvantage in attracting new residential investment, potentially limiting long-term growth and housing diversity.

### **Planning Commission Discussion**

This item is provided for discussion purposes only. Staff is seeking general feedback from the Planning Commission regarding:

- Whether to proceed with drafting a formal ordinance amendment
- Whether the proposed cap of 18 units per acre is appropriate
- Any additional considerations or modifications to the proposed standard

No formal action is requested at this time.



**Prepared By: Ryan Saltis, City Planner**

**Presenter: Ryan Saltis, City Planner**

**Date: 04/30/2026**

**Board & Commission: Planning Commission**

**Subject: Design Standards**

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Design Standards

**Voting Requirements:**

**Voting Options      Simple Majority**

## Report

Discussion of Potential Text Amendment – Design Standards and Building Material Requirements

### Overview / Background

City staff has been directed by the Planning Commission, Economic Development Authority (EDA), and City Council to evaluate the City's existing design standards under Section 66-943 of City Code. The intent of this review is to determine whether current regulations are overly restrictive and whether modifications could improve development flexibility, reduce construction costs, and enhance the City's competitiveness for commercial and industrial investment.

The City of North Branch currently utilizes a three-zone design overlay system that establishes varying exterior building material requirements based on visibility and location within the community. These standards are intended to promote architectural quality, ensure cohesive design, and protect long-term property values.

Recently, the City has taken steps to modernize these standards. Most notably, Insulated Metal Panels were added as a permitted Class II material through Ordinance No. 397-25, reflecting a shift toward accommodating newer construction materials while maintaining design intent.

This report provides a comprehensive review of existing standards, summarizes how North Branch compares to surrounding communities, and outlines potential options for amending material percentage requirements and zoning applicability. This item is for discussion and policy direction only. No formal action is requested at this time.

### Analysis

#### Existing Standards

Design standards apply to:

- Commercial, Central Business, and Industrial Zoning Districts

Design standards do not apply to:

- Agricultural (AG)
- Rural Residential (RR)
- Park/Open Space districts

#### Design Overlay Zones

##### *Zone 1 – Primary Corridors & Gateways*

- Minimum 65% Class 1 materials
- Highest Architectural Standards
- Applies to high-visibility corridors such as I-35, Highway 95, and Main Street

### *Zone 2 – Transitional Areas*

- Minimum 50% Class 1 materials
- Moderate flexibility in design
- Serves as a transition between high-visibility and industrial areas

### *Zone 3 – Industrial / Low Visibility Areas*

- No minimum material percentage requirements
- Requires use of at least two materials or colors on visible façades
- Greater flexibility for industrial and rear-facing development

The following analysis evaluates the City’s current design standards and the potential impacts of modifying material percentage requirements and zoning structure. This review considers impacts to development feasibility, community character, and long-term planning goals.

### *Overall Evaluation*

North Branch’s design standards are generally consistent with surrounding communities in intent; however, the City’s material percentage requirements—particularly in Zone 1—are slightly more restrictive than many comparable cities. While these standards support high-quality development, they may also contribute to increased construction costs and reduced development flexibility.

### *Comparison to Surrounding Cities*

A review of neighboring communities indicates several common themes:

- Most cities require high-quality materials on street-facing facades, but allow flexibility elsewhere
- Typical requirements range from 50% to 75% high-quality materials
- Many cities allow modern materials such as metal panels when integrated into the design
- Greater emphasis is placed on architectural articulation and overall appearance, rather than strict percentage requirements

### *Impacts of Current Standards*

#### Benefits

- Promotes consistent architectural quality throughout the City
- Enhances key corridors and gateway areas
- Supports long-term property values and community aesthetics
- Encourages durable, long-lasting materials

#### Challenges

- Higher material requirements may increase construction costs
- Limits flexibility for developers, particularly for industrial and commercial projects
- May discourage smaller-scale or cost-sensitive developments
- Requires periodic amendments to accommodate new materials

## Potential Amendment Options

Based on the analysis, several potential modifications could be considered:

### *Material Percentage Adjustments*

- Reduce Zone 1 requirement from 65% to approximately 50% Class 1 Materials
- Reduce Zone 2 requirement from 50%
- Maintain flexibility in Zone 3

### *Façade-Based Standards*

- Focus higher-quality material requirements on street-facing facades only
- Allow greater flexibility on side and rear elevations

### *Expanded Material Allowances*

- Continue allowing modern materials such as insulated metal panels
- Shift focus toward design quality rather than strict material classifications

### *Design Overlay Zone Modifications*

- Simplify or reevaluate the current three zone structure

## Cost and Development Considerations

### Developers

- Reduced material requirements may lower construction costs
- Increased flexibility may improve project feasibility
- Could encourage a broader range of commercial and industrial development

### City

- Increased development activity may expand tax base
- More flexible standards may improve competitiveness with neighboring cities
- Lower material standards could result in long-term maintenance concerns if not carefully balanced

## Summary

The City's current design standards have been effective in promoting quality development but may benefit from targeted updates to improve flexibility and reduce development costs. Recent amendments, including the addition of insulated metal panels, demonstrate a shift toward modernization.

Adjustments to material percentage requirements, increased flexibility for non-visible façades, and potential revisions to the design overlay zones could help the City remain competitive while maintaining its desired architectural character.

This item is provided for discussion purposes only. Staff is seeking general feedback from the Planning Commission regarding:

- Whether to proceed with drafting formal text amendments to design standards
- Whether material percentage requirements in Zones 1 and 2 should be reduced
- Whether standards should focus more on street-facing facades rather than entire buildings
- Whether the current three zone system remains appropriate
- Any additional considerations and recommendations

## **Sec 66-943 Design Standards**

a) The zones set forth in this Section are defined in the design overlay [district map](#) on record with the City Clerk.

b) Architectural Standards. The requirements contained within this Division shall not apply to any structure in the Agricultural, Rural Residential or Park/Open Space districts. It shall apply to all structures used for commercial purposes in Single-Family Residential, Medium Density Residential, and High Density Residential, all structures in the Central Business, Commercial, and Industrial Districts.

These standards are intended to ensure coordinated design of new and existing building exteriors, including additions and accessory structures, in order to prevent visual disharmony; minimize adverse impacts on adjacent properties from buildings which detract from the character and appearance of the district; and aid in improving the overall economic viability of the district. These standards are further intended to prevent use of materials that are unsightly, subject to rapid deterioration or which contribute to depreciation of property values or cause urban blight. It is not the intent of this Section to unduly restrict design freedom when reviewing and approving project architecture in relationship to the proposed land use, site characteristics and interior building layout. While the City of North Branch has not established a theme or particular style of architecture that must be adhered to, a general goal of creating a professional appearance with architectural appeal associated with a small city atmosphere is desired within the City of North Branch.

(1) Architectural plans shall be prepared by an architect or other qualified person (as determined by the Zoning Administrator) and shall show the following:

- (a) Elevations of all sides of the building.
- (b) Type and color of exterior building materials.
- (c) Typical floor plans.
- (d) Dimensions of all structures.
- (e) The location of trash containers and of exterior electrical, heating, ventilation, and air conditioning equipment.
- (f) Utility plans including water, sanitary sewer, and storm sewer.
- (g) Additional plans deemed necessary by the Zoning Administrator.

(2) Exterior building materials shall be subject to Zoning Administrator approval and the following:

(a) Zone 1: Structures must provide a cohesive architectural appearance reflecting its functional purpose and must be composed of at least sixty-five percent (65%) Class I materials; not more than thirty-five percent (35%) percent Class II materials.

(b) Zone 2: Structures must provide a cohesive architectural appearance reflecting its functional purpose and must be composed of at least fifty percent (50%) Class I materials; not more than thirty-five percent (50%) percent Class II materials.

(c) Zone 3: Structures must provide a cohesive architectural appearance reflecting its functional purpose. Structures in this zone are not subject to material composition requirements by Class. All other design standards in this Section apply unless otherwise listed.

(d) Classes of materials. For the purposes of this subdivision, exterior materials shall be divided into Class I and Class II categories as follows:

- 1. Class I consisting of:

- i. Brick,
- ii. Natural stone (or similar appearing, high quality manufactured stone),
- iii. Glass curtain wall,
- iv. Copper,
- v. Other comparable or superior materials, or
- vi. New materials that meet the intent of the preamble above.

2. Class II consisting of:

- i. Specialty concrete block such as burnished, textured or rock face,
- ii. Architecturally precast concrete panels having an exposed aggregate, light sandblast, acid etch, form liner, smooth as cast, tooled, natural stone veneer, brick face and/or cast stone type finish,
- iii. Masonry stucco,
- iv. Fiber-cement exterior siding,
- v. Other comparable or superior materials,
- vi. New materials that meet the intent of the preamble above.
- vii. Exterior finish installation system (EFIS),
- viii. Opaque panels,
- ix. Ornamental metal,
- x. Smooth concrete block,
- xi. Scored concrete block,
- xii. Smooth concrete tilt-up panels,
- xiii. Glazed block,
- xiv. Glass block,
- xv. Ceramic,
- xvi. Other comparable or superior materials, or
- xvii. New materials that meet the intent of the preamble above.

(e) A distinctly different color of brick may be considered as a second Class I material, however, minor blended color combinations shall not be considered as a separate material.

(f) Buildings may be constructed primarily of one (1) specific Class I material provided that the design fits the purpose of the building and is obviously superior to the general intent of this Division to provide visual interest, variation in detailing, and eliminate long wall sections without windows.

(g) Buildings constructed in Zone 3 shall have a minimum of two complementary color tones or two materials incorporated on all sides of the building. This can be completed through wainscoting, columns, pilasters, or other ornamentation as determined by the Zoning Administrator.

(h) Garish or bright accent colors for awnings, trim, banding, walls, entries or any portion of the building shall be minimized, but in no case shall such coloring exceed five percent (5%) of each wall area.

(i) In Zones 1 and 2 exposed roof materials shall be similar to, or an architectural equivalent of a high quality asphalt shingle (300# or better), wood shingle, standing seam metal roof, or better.

(j) In Zone 3, roof materials shall be of a finished material and all fasteners and connectors shall be the same color as the roof material.

(3) The overall architectural character shall have a consistent architectural expression on all sides of the building and be compatible with its surroundings.

(4) Windows or simulated windows shall be used on the ground level of any wall parallel to or nearly parallel to a street.

(5) All structures, including parking ramps shall be designed to be architecturally integrated into the overall site and be made of comparable materials and decorative elements.

(6) All façade treatments shall be maintained so as to not be unsightly in appearance or in a state of disrepair, nor shall harmful health or safety conditions be present for the life of the project.

(7) Prohibited Exterior Materials in Zone 1 and 2:

(a) Vinyl Siding.

(b) Metal Siding, except as provided above.

(c) Formed Metal Panels with exposed fasteners.

(d) Pre-engineered post-frame structures with agricultural grade metal wall and roof panels, commonly called “pole barns” are not permitted.

(8) Prohibited Exterior Materials in Zone 3:

(a) Unfinished steel on walls or roofs.

(b) Unfinished aluminum on walls or roofs.

(c) Reflective materials.

(9) Exceptions – The following exceptions to the exterior building material requirements may apply:

(a) The use is an essential service as defined by this Division; or

(b) The applicant shall have the burden of demonstrating that:

1. The proposed building maintains the quality in design and materials intended by this Division,

2. The proposed building design and materials are compatible and in harmony with other structures within the district,

3. The justification for deviation from the requirements of this section shall not be based on economic considerations.

(c) Sides of a building which are not visible from any public road may use any combination of Class I or II materials, if approved by the Planning Commission and City Council. The applicant must be able to demonstrate that said side of building is not visible from any public road.

(d) Garage doors, window trim, flashing, accent items and the like, shall not constitute required materials that make up the exterior finish of a building for the purposes of this section.

(e) Building Additions. Properties zoned I - Industrial and I2 - Heavy Industrial may be excepted from the minimum exterior building material standards for additions onto existing buildings. This exception only applies to additions of not more than 75 percent of the gross floor area of the initial principal building constructed on the property. The type and percent composition of the material(s) on the new additio(s) must be equal to or greater than the material(s) on the existing principal building. Additions exceeding 75 percent are required to meet the minimum exterior material standards for that Zone. In this case, the property owner may opt to satisfy the minimum standards on both the addition(s) and existing building. This exception does not apply to new secondary buildings and accessory structures on the property, if permitted by zoning.

(Code 1996, § 17.44.120)

HISTORY

*Amended by Ord. [325-21](#) on 10/26/2021*

*Amended by Ord. [356-23](#) on 6/27/2023*

*Amended by Ord. [376-24](#) on 7/30/2024*

*Amended by Ord. [377-24 \(Summary Ordinance of 376-24\)](#) on 7/30/2024*



**Prepared By: Ryan Saltis, City Planner**

**Presenter: Ryan Saltis, City Planner**

**Date: 04/30/2026**

**Board & Commission: Planning Commission**

**Subject: Accessory Dwelling Units (ADU's)**

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## **Accessory Dwelling Units (ADU's)**

**Voting Requirements:**

**Voting Options      Simple Majority**

## Report

Discussion of Potential Text Amendment – Accessory Dwelling Units (ADU's)

### Overview / Background

At the April 7 Planning Commission meeting, a resident raised the possibility of adopting regulations to allow **Accessory Dwelling Units (ADU's)** as an additional housing option within residential zoning districts. ADU's are smaller, secondary residential units located on the same lot as a principal dwelling and may be either attached or detached.

ADU's have gained increased attention as a planning tool to expand housing supply without large-scale development, support multi-generational living arrangements, and provide supplemental income opportunities for homeowners.

Currently, the North Branch City Code does not explicitly permit ADU's in residential zoning districts. As a result, the establishment of a secondary dwelling unit on a single parcel would require code interpretation or approval of a variance.

Nearby jurisdictions, including Chisago County, Minnesota and Isanti County, Minnesota, allow ADU's (often referred to as "Accessory Apartments" or "Guest Houses") under specific conditions, typically within agricultural or rural zoning districts. These ordinances provide a useful framework for evaluating how ADU's could be regulated within the City of North Branch.

This item is presented for informational purposes only, and no action is requested at this time. Planning Commission members are asked to review the attached ordinances from Chisago and Isanti Counties in advance of a more detailed discussion at the June Planning Commission meeting. That discussion will focus on whether the City should consider incorporating ADU regulations into its zoning code and how such regulations may be structured.

### Things to consider

As the Planning Commission reviews the concept of allowing Accessory Dwelling Units (ADU's), several policy and implementation considerations should be evaluated. These considerations are intended to guide future discussion on how ADU's could be incorporated into the City of North Branch zoning code in a manner that balances housing flexibility with neighborhood compatibility.

#### Zoning Districts

- Should ADU's be permitted in all residential districts or limited to specific zoning classifications (ex: RR or R-1)

#### Approval Process

- Should ADU's be permitted administratively or require a Conditional Use Permit (CUP) to allow for case-by-case review?

### Unit Type and Location

- Should both attached and detached ADU's be allowed?
- Should restrictions be placed on placement? (rear yard only?)

### Size Limitations

- Should ADU's be limited by square footage (ex: 800-1,200 square feet) or as a percentage of the principal dwelling?

### Owner Occupancy Requirements

- Should either the primary dwelling or ADU be owner-occupied to maintain property oversight and neighborhood character?

### Parking Requirements

- Should additional off-street parking be required for ADU's?

### Utilities and Infrastructure

- Are existing water, sewer, and stormwater systems adequate to support increased density?

### Design and Compatibility Standards

- Should ADU's be required to match the architectural style or materials of the principal dwelling?

### Number of Units

- Should there be a limit of one ADU per parcel?

### Enforcement and Administration

- What level of staff resources would be required to administer and enforce ADU regulations?



#### 4.10 Accessory Dwelling Units

- A. An accessory dwelling unit is a detached or possibly attached structure adhering to principal structure setbacks or an attached accessory use with a dedicated separate entrance from the principal structure as defined in Section 3. An internal stairwell may be connected to the dedicated separate entrance.
- B. An accessory dwelling unit is only permitted on parcels with an established principal dwelling.
- C. An accessory dwelling unit shall not exceed seven hundred eighty (780) square feet or larger measured at the foundation/footprint.
- D. The maximum footprint of the accessory dwelling unit shall not exceed the principal dwelling footprint.
- E. The accessory dwelling unit must be compatible in materials and appearance to the principal dwelling.
- F. Dedicated on-site parking to meet the needs generated by the accessory dwelling unit is required.
- G. The accessory dwelling unit shall meet the residential standards of this Ordinance including but not limited to building requirements in Section 4.07.
- H. Accessory dwelling units are permitted in the AG and RR Districts. Accessory dwelling units shall require a Conditional Use Permit in the AP, UFR, and RVC Districts.
- I. Accessory dwelling units shall be prohibited in the CLI and PAT Districts. Land containing both a principal dwelling and an accessory dwelling unit cannot be subdivided unless both dwellings and the land adhere to all specified dimensional standards.
- J. At least one (1) of the dwellings on the property must be owner occupied.
- K. Accessory dwelling units are not permitted on land which has been developed with a duplex or townhome.

**A514908**

Fees: \$0

Pages: 4

Isanti County Office of

Recorder/Registrar of Titles

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555 18TH AVE SW  
CAMBRIDGE, MN 55008

**NOTICE IS HERBY GIVEN** that the Isanti County Board of Commissioners took action at a public hearing on March 15, 2022 to make the following amendment to the Isanti County Zoning Ordinance as it relates to Accessory Dwelling Units.

The ordinance as amended will read as follows:

1. General Provisions

a. Findings

i. There are many benefits associated with the creation of legal accessory dwelling units (ADUs) on parcels that are otherwise limited to single-family dwellings. Those benefits include:

1. Providing a means for adult children to give care and support to a parent in a semi-independent living arrangement;
2. Increasing the supply of affordable housing without government subsidies;
3. Providing a cost-effective means of accommodating development by making better use of existing infrastructure and reducing the need to provide new infrastructure;
4. Benefiting older homeowners, single parents, young home buyers, and the disabled;
5. Integrating affordable housing uniformly within the community;
6. Providing homeowners with extra income to help meet rising home ownership costs;
7. Reducing the incidence of housing deterioration and community blight by preventing absentee ownership of properties; and
8. ADUs provide the opportunity for increased security and companionship for older and other homeowners who fear crime and personal accidents.

b. Purposes and Intent.

i. It is the policy of Isanti County to promote and encourage the creation of ADUs in a manner that enhances residential areas in order for the people of Isanti County to meet their housing needs and to realize the benefits of ADUs.

- ii. It is not the purpose of this ordinance to alter the density restrictions outlined in Isanti County's Comprehensive Plan and implemented in Isanti County's Zoning Ordinance. Accordingly, to the extent that the Comprehensive Plan identifies limits to the number of dwelling units within particular areas of land, it is the intent of the County Board that a principal dwelling unit accompanied by an accessory dwelling unit shall be deemed to constitute a single dwelling unit for the purposes of provisions in the Comprehensive Plan and the Zoning Ordinance that address density. In addition, it is the intent of the County Board that it shall not require an additional building right for a property-owner to add an accessory dwelling unit to their property in conformity with the requirements for such an addition given below.

c. Definitions.

- i. "Accessory dwelling unit" (ADU) means a residential living unit on the same parcel as a single-family dwelling. The ADU provides complete independent living facilities for one or more persons. It may take various forms: a detached unit; a unit that is part of an accessory structure, such as a detached garage; or a unit that is part of an expanded or remodeled primary dwelling.
- ii. "Detached ADU" means a type of ADU that is a house built or placed permanently on the same parcel as a single-family house. An accessory detached ADU is not built within the existing house.
- iii. "Accessory" means that the ADU serves single-family dwelling purposes, rather than meaning that an ADU must necessarily be subordinate to or smaller than the principal dwelling unit on a single-family parcel, other than as set forth in the additional requirements for ADU's given in Isanti County's Zoning Ordinance.
- iv. "Dwelling unit" means a residential living unit that provides complete independent living facilities for one or more persons. It shall include permanent provisions for living, sleeping, eating, cooking, and sanitation.
- v. "Living Area" means the interior habitable area of a dwelling unit, including basements and attics, but does not include a garage or any accessory structure.
- vi. "Zoning Administrator" means the local official who is responsible for processing and approving or denying applications to develop or legalize ADUs.

2. Permits: Eligibility and Application


- a. Authorization for ADUs by Zoning District.
  - i. An ADU may be permitted in the Agriculture/Residential zoning district if it meets all the requirements of this ordinance.
- b. Approval Process.
  - i. A total of one ADU is permitted per parcel.

- ii. An ADU may be permitted in the agriculture/residential district, provided the Zoning Administrator first approves the proposed ADU as complying with the standards of Isanti County's Zoning Ordinance.
    - iii. An ADU shall require a building permit that may either be applied for concurrently with the application for a building permit for construction of the principal structure on the parcel, or after construction of the principal structure.
  - c. Continuing Authorization.
    - i. Authorization for an ADU shall expire if the ADU does not conform to the Zoning Ordinance.
- 3. ADU Standards
  - a. Homestead Status.
    - i. The parcel on which the ADU is located must have received and maintain homestead status.
  - b. Parcel Standards – Minimum Size.
    - i. ADUs may be developed on parcels meeting the minimum parcel size in the agriculture/residential district where it is located.
    - ii. A property may not be subdivided or otherwise segregated to provide separate ownership of an ADU.
  - c. Parcel Standards – Setbacks.
    - i. The setbacks applicable to ADU's shall be the same as those applicable to single-family dwelling units in the agriculture/residential zoning district where the ADU is located.
    - ii. A detached ADU shall be located at least 10' from the principal dwelling on the lot.
  - d. Unit Building Standards – Existing Dwelling Unit, Existing Structure, or New Dwelling Unit
    - i. An ADU may be incorporated in an existing dwelling unit, an existing structure, or a new dwelling unit.
  - e. Unit Buildings Standards – Size of Detached ADU
    - i. The living area within a detached ADU may not be larger than the living area within the associated principal dwelling unit.
  - f. Unit Building Standards – Compliance with the Building Code
    - i. The ADU must satisfy the requirements of the Minnesota State Building Code.
  - g. Parking and Traffic
    - i. In order for an ADU to be approved, an applicant must demonstrate to the Zoning Administrator that there are sufficient parking spaces available on the parcel to prevent the need for residents to park on adjacent streets.
    - ii. One driveway access allowed per parcel for the ADU and principal dwelling on the parcel, *unless otherwise approved by the road authority.*
  - h. Public Health
    - i. ADU applicants must demonstrate to the Zoning Administrator that the water supply and sewage disposal facilities are adequate to satisfy all state laws and applicable Minnesota Pollution Control Agency regulations.

- i. An ADU will be issued an address in accordance with the enhanced emergency 911 system to provide for emergency vehicles, and the address will be issued by the Isanti County Zoning Department.

Adopted by the Isanti County Board of Commissioners on the 15th of March, 2022

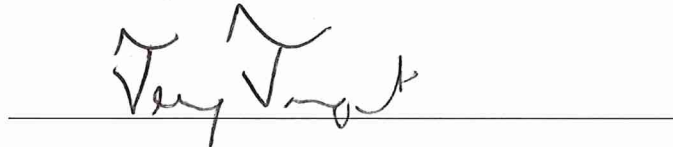
“SEAL”



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Julia Lines

Isanti County Administrator



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Terry Turnquist

Isanti County Board of Commissioners, Chairperson



**NORTH BRANCH**  
**City of North Branch**  
**Staff Report**

**Prepared By: Nathan Sondrol, Community Development Director**

**Presenter: Nathan Sondrol, Community Development Director, Matthew Hill, City Administrator**

**Date: 04/30/2026**

**Board & Commission: Planning Commission**

**Subject: Comprehensive Plan Update**

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The Comprehensive Plan Steering Committee requests that the Planning Commission review two specific sections of the 2018 Comprehensive Plan:

- **Section 2: Values and Vision (all groups will review this section)**
- **Section 3: Land Use and Growth**

Your focused review is vital as we move toward the final revision of the plan. This should include a thorough overview of the current language, and listing any changes that the group feel necessary due to the changes and growth of the City.

We are establishing the following timeline for the process:

The committee met on February 18, March 18 and April 15 and discussed the following items:

- *Urban Service Area Boundary*
- *Types of Housing/Demand*
- *ADU's: Where are they acceptable and identified a Goal for placing regulations*
- *Short Term Housing*
- *Redevelop and Repurpose opportune areas*
- *CBD is emphasized for only holding .18% of total land in city*
- *Analyze planned transportation routes and review zoning accordingly*
- *Update acreages, numbers, facts, data within Comp Plan*
- *Ecological Preservation*
- *Goal: Design Standards*

The next meeting is scheduled for Wednesday, May 20 at 6pm at City Hall.

- **April 15 2026:** Housing, Transportation, Utilities, Public Safety - .

- **May 20 2026:** Presentation of the Comprehensive Plan review results to the Planning Commission for public hearing and consideration, and Council approval in June.

Supporting documents are attached, including: Sections 2 and 3 of the Comprehensive Plan, and a link to the entire document

- <https://www.northbranchmn.gov/DocumentCenter/View/216/2018-Comprehensive-Plan-PDF>

- Summary of the feedback forms from the community questionnaires

Staff are in the process of compiling comments and updates and will have them provided prior to the meeting.

**Requested Action**

To provide input on Sections 2 and 3 of the comprehensive plan

**Voting Requirements:**

**Voting Options**      **Simple Majority**

# 3

## LAND USE & GROWTH

### Introduction

The Land Use & Growth Management Chapter is a roadmap that helps guide City officials and staff on how to make policy decisions related to land use and future growth. These policies may influence the type, location and density of future development within the community. This chapter is intended to result in orderly and efficient development that utilizes land efficiently and makes the most of the community's resources. It offers guidance on key initiatives for the community which is consistent with the City's vision and goals.

In this chapter is a description of existing land use patterns, as well as an overview of how the City anticipates land will be used and developed in the future. It accommodates growth and applies the desired qualities of the community.

Another important aspect of this chapter is that it also serves as the foundation for reviewing the City's Zoning Ordinances, Zoning Map, Subdivision Regulations and other implementation tools. Implementation of the Land Use Plan produces several important implications:

#### USES

Every parcel is placed into a specific land use category. Each category includes a description of the type of land use or uses intended for that category. This description should match with the types and forms of development currently found in North Branch and desired for the future.

#### RELATIONSHIPS

Much like a jigsaw puzzle, the true picture comes from how each piece fits together into a whole. The Land Use Plan guides how elements of the built and natural environment come together in North Branch. These relationships will determine how North Branch will look, function and feel.

#### ACTIONS

The Land Use Plan sets the framework for public actions and investments. Utilities, streets, parks, and facilities are all influenced by the form and pace of development.

### Figure 3-1: Existing Land Use

Identifies the location, amount, and types of existing land uses in the City of North Branch in 2018. The inventory as conducted as part of this planning process reflects general development patterns and is intended for general planning purposes only.

*The City of North Branch is a complete community that provides a well-balanced and wide range of places to live, work, shop and play.*

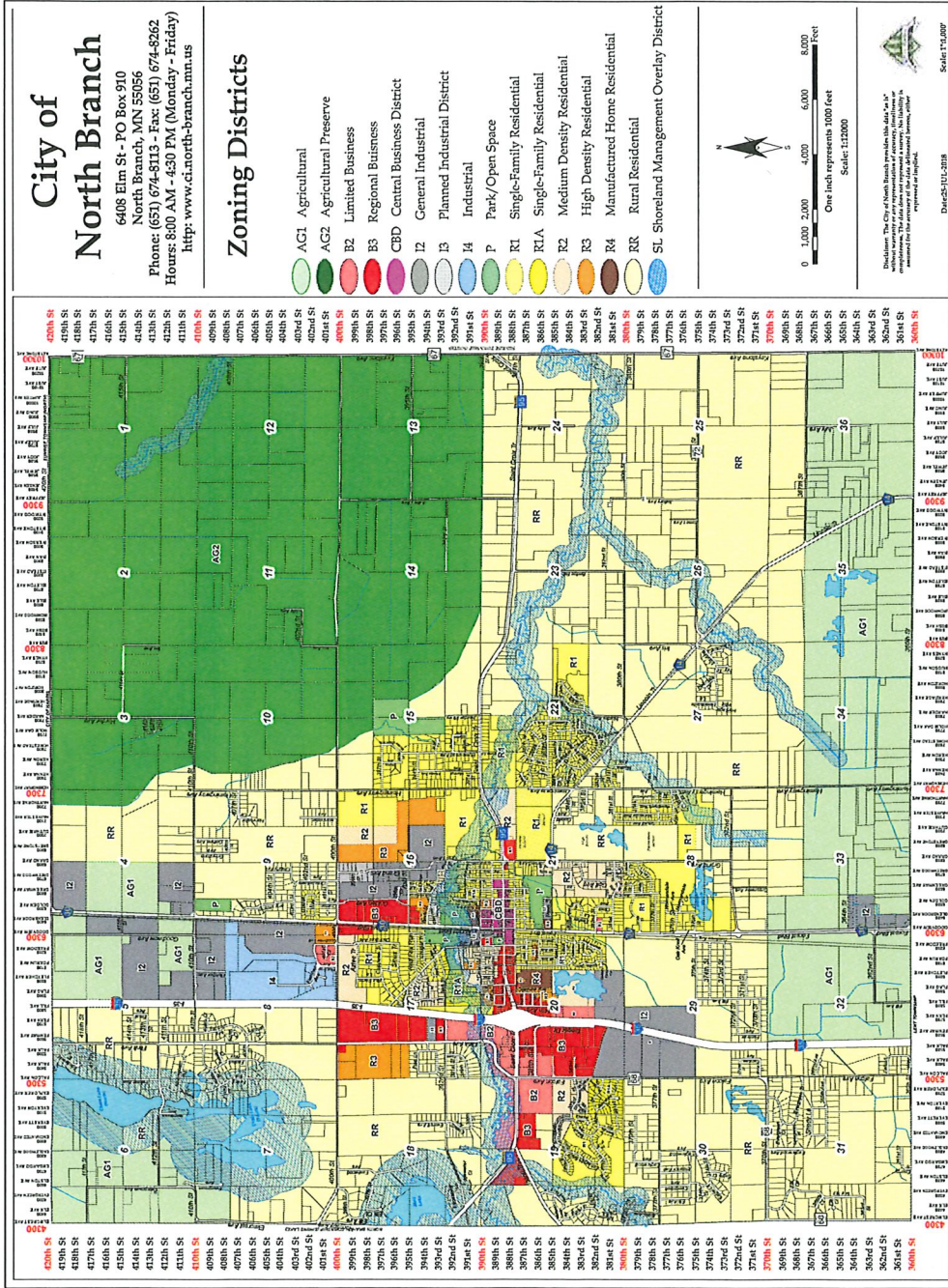


Table 3-A: Summary of Existing Land Use - 2018 summarizes the amount and type of existing land uses designated (whether or not fully developed) in North Branch.

<b>Table 3 - A: Summary of Existing Zoning 2018</b>		
<i>Existing Land Use Designation</i>	<i>Gross Acres*</i>	<i>Net Percent of City</i>
<i>Agriculture (AG1 and AG2)</i>	<i>8,680.2</i>	<i>37.6%</i>
<i>Rural Residential (RR)</i>	<i>9,961</i>	<i>43%</i>
<i>Low Density Residential (R1 and R1A)</i>	<i>1,869.7</i>	<i>8.1%</i>
<i>Medium Density Residential (R2)</i>	<i>403.4</i>	<i>1.7%</i>
<i>High Density Residential (R3)</i>	<i>216.6</i>	<i>.9%</i>
<i>Manufactured Home Residential (R4)</i>	<i>27.2</i>	<i>.11%</i>
<i>Central Business District (CBD)</i>	<i>43</i>	<i>.18%</i>
<i>Limited Business District (B2)</i>	<i>214.8</i>	<i>.9%</i>
<i>Regional Business District (B3)</i>	<i>437.3</i>	<i>1.9%</i>
<i>General Industrial District (I2)</i>	<i>858.1</i>	<i>3.7%</i>
<i>Planned Industrial District (I3)</i>	<i>21.6</i>	<i>.09%</i>
<i>Industrial District (I4)</i>	<i>158.6</i>	<i>.7%</i>

\*Gross acres of use determined by GIS mapping data.

Figure 3-1:  
Existing Zoning



## *Existing Zoning*

### **Agriculture (AG1 and AG2)**

Over one-third of the city's land area (37.6%) is currently used for agricultural purposes. Housing densities are low, and this zoning is characterized by active farms, hobby farms and homes on large lots. The northeast corner of the city is the historic river bottom of the St. Croix River and is framed by the historic river bluff line. Soils are well suited for sod farming and the production of produce. By maintaining a low density of development, it is the City's intent to preserve and protect the many natural resources found in this part of North Branch, including lakes, streams, wetlands and woodlands.

### **Rural Residential (RR)**

Rural Residential makes up 9,961 acres or 43% of the total acreage in the City of North Branch. This land use is largely characterized by single family residences set on larger lot sizes to accommodate on-site sewage treatment systems. Some of these areas are located within the city's designated Urban Service Area and no new development is allowed within this zoning district without connecting to municipal services. Areas located outside of the Urban Service Area must meet a minimum buildable acre standard so as to ensure that there is sufficient land area with the appropriate soil separation to support both a primary and a future secondary on-site sewage treatment system.

### **Low Density Residential (R1 and R1A)**

Low Density Residential makes up 1,869.7 acres or 8.1% of the total acreage in the City of North Branch. This land use is largely characterized by single-family homes with densities of 1 to 4 dwelling units per acre in those areas served by municipal utilities. Older areas of the city were platted before municipal utilities were established, resulting in larger lot sizes to accommodate on-site sewage treatment systems. The city has a limited inventory of older, historic homes that are located primarily in the one square mile area that had been the original city of North Branch. The areas around the historic center feature homes built approximately 50 years ago, with new development happening neighborhood by neighborhood since that time. 2017 marked the start of a new housing boom with new single family homes being constructed on existing lot inventory and multiple developments platted for the purpose of constructing even more single family homes. The new development that is planned or in process as of the writing of this plan is intended to provide the city with a more diverse mix of housing styles and at a wider range of price points.

### **Medium Density Residential (R2)**

Medium Density Residential makes up 403.4 acres or 1.7% of the total acreage in the City of North Branch. Medium Density Residential is characterized by single family homes on smaller lots that required for R1, townhome style development, and two-family attached homes densities of 1 to 6 dwelling units per acre.

### **High Density Residential (R3)**

High Density Residential makes up 216.6 acres or .9% of the total acreage in the City of North Branch. High Density Residential is characterized by land use that consists of all forms of multi-family attached housing units such as two-family attached homes, townhomes and apartment buildings.

High density residential has densities of up to 18 dwelling units per acre.

#### **Manufactured Home Residential (R4)**

The Manufactured Home Residential zoning classification only exists for the benefit of the four established manufactured home parks. It currently makes up 27.2 acres or .1% of the total acreage in the City of North Branch. Changes in Minnesota laws now allow manufactured homes in any zoning district that allows twin homes, subject to all applicable lot standards, such as lot size, frontage, road widths, etc. The new land use map and updates to the zoning map will include areas previously zoned at R4 within either an R2 or R3 zoning class.

#### **Central Business District (CBD)**

The Central Business District is a unique classification intended to provide for a planned, unified development of the City's historical downtown area. This zoning classification makes up 43 acres or .18% of the total acreage in the City of North Branch. Permitted uses include service based businesses, office uses, retail uses, apartments and hotel uses, among other things, in close proximity to one another to promote pedestrian movement between businesses. The area offers a mix of street and lot parking, with the parking lots being located behind buildings at various locations throughout the district. The existing land use is primarily commercial buildings, many of which are vacant and in need of rehabilitation. The area is dotted with existing single family homes which were intended to be phased out of use and converted to commercial uses over time. The area is adjacent to TH95, with sidewalks that provide pedestrian passage, but pedestrian movement across TH95 is difficult and poses a significant challenge to the goal of this area being an inviting public space offering a "range of retail and civic experiences" as hoped by the authors of the 2009 Comprehensive Plan.

#### **Limited Business District (B2)**

The Limited Business District makes up 214.8 acres or .9% of the total acreage in the City of North Branch. This land use is characterized by business uses and services, lodging, and retail that are also permitted in the CBD, but that are dependent on automobile traffic. Additionally, the area is intended to serve as a transition zone between the CBD and the Regional Business District (B3).

#### **Regional Business District (B3)**

The Regional Business District makes up 437.3 acres or 1.9% of the total acreage in the City of North Branch. This land use is characterized by business uses and services, lodging, and retail that are also permitted in the CBD and B2, but also provide for the location of commercial activities that serve primarily regional or nonlocal market. The lot sizes are larger so as to provide the area needed for retail and commercial activities that require very large buildings.

#### **Light Industrial/Office District (I1)**

The Light Industrial/Office District is defined as a region characterized by office, manufacturing and warehousing uses, but currently no part of the city is zoned for this use.

### **General Industrial District (I2)**

The General Industrial District makes up 858.1 acres or 3.7% of the total acreage in the City of North Branch. This land use is characterized by manufacturing, assembly, warehousing, storage, showrooms and contractor shops.

### **Planned Industrial District (I3)**

The Planned Industrial District is similar to I1, and makes up 21.6 acres or .09% of the total acreage in the city.

### **Industrial District (I4)**

The Industrial District makes up 158.6 acres or .7% of the total acreage in the City of North Branch. This land use is characterized by manufacturing, assembly, warehousing, storage, showrooms and contractor shops as can be found in I2, but its location adjacent to I35 makes this area highly visible and is subject to stricter design standards. Currently, over 200 acres in the I2 and I4 zoning classifications are vacant but ready for development in the industrial park owned by the City through its Economic Development Authority.

### **Overlay Districts**

Sensitive areas, such as those adjacent to bodies of water or within a designated flood plain or flood fringe are managed by the City in accordance with applicable Minnesota Statutes. Setbacks, design standards and other restrictions on use within the overlay district are imposed so as to limit ecological impact and loss.

### ***Analysis of Existing Land Use***

With over 36 square miles of land, an analysis of the existing land use illustrates several important issues about current and future development:

**The largest land use category in terms of area in the City is agriculture.** Followed by the rural residential land use category. It is anticipated that the agricultural areas will continue to be used for agricultural production due to its geologic characteristics and the community's desire to support its rich agricultural heritage and industry. The rural residential areas, which are served by private wells and septic systems, will also have agricultural or hobby farm uses. The total land areas for these two uses will not likely change, but development within these areas will occur at a much slower pace than the low density residential uses served by municipal utilities.

**The second largest residential land use category is low density residential.** It is anticipated that expanded development within this zoning classification will continue to grow throughout the life of this plan, resulting in greater intensity of the use without increasing the overall land area designated for this use. The three primary residential categories (R1 and R2) account for 9.8% of the total land use in the City.

**The Central Business District is characterized by a development style common among other older downtowns.** It is pedestrian oriented in nature with buildings built to the sidewalk. Parking for these uses is typically on street, in the rear of buildings, or shared among several users. The transition from residential uses to commercial uses did not occur as anticipated when the zoning district was created. There are numerous vacant buildings and the area is ripe for redevelopment.

**The City, through its Economic Development Authority, owns over 200 acres of land zoned for industrial uses.** Until this land is sold and developed, no additional industrial zoned land is needed within the Urban Service Area. If the city were to allow for heavy industrial uses, consideration should be given for compatibility with adjacent land uses. Controls should be in place that protect against negative impacts to neighboring property.

**The nation's third largest solar farm is partially located within the City's limits.** Other smaller solar installations are located entirely within the City. The solar installations feature native plantings intended to re-establish prairie habitat and support pollinator species, such as the Monarch butterfly.

**The City benefits from existing park facilities, trails and open spaces.** Approximately .6% of the total acreage in the City of North Branch is utilized as city owned park and open space uses. The City is also home to the Janet Johnson WMA, owned and managed by Minnesota Department of Natural Resources. The Sunrise Prairie Regional Trail and other city sidewalks and trails serve the city's goal of being walkable and bikeable, but it is the goal of the city to expand those opportunities and consideration should be given to identify areas for preservation for these purposes.

**There are significant residential development opportunities in the northwest portion of the city.** Large tracts of land are currently undeveloped and the opportunity exists to establish traffic corridors without the need for redevelopment.

## *Vision for Land Use*

The City of North Branch is a complete community that provides a well-balanced and wide range of places to live, work, shop and play. Land uses make efficient use of existing infrastructure, contribute to a strong local economy, preserve natural resources and contribute to a high quality of life.

### **RESIDENTIAL USES**

A diverse housing stock allows people at any stage in their life to be able to find a home in North Branch, which may include housing options suitable to multigenerational households. Older housing is well maintained while new development expands housing options to complement existing neighborhoods.

### **COMMERCIAL AND INDUSTRIAL USES**

A significant amount of commercial and industrial uses can be found within the City that allow residents to work in North Branch, while also being able to meet all of their day-to-day needs. Commercial and industrial uses are compatible with their surrounding land uses.

### **PUBLIC/INSTITUTIONAL**

Public and institutional uses are viewed as valued resources to the community and contribute to making North Branch a better place to live and do business.

### **PARKS, OPEN SPACES AND TRAILS**

Quality parks and open space are within close proximity to all residents, providing recreational opportunities to encourage an active lifestyle. A wide variety of community facilities are provided to serve a range of interests. The City of North Branch has a proposed trail system that will allow bicycle and pedestrian access to most of the major pedestrian generators within the city, including schools, shopping areas, and parks. Many of the proposed trails are destinations in themselves, offering scenic walks or rides around many of the city's scenic views. With recreational activities such as running, bicycling, and walking increasing in popularity, the city's trail system will not only offer a recreational opportunity in itself, but will also help to connect the community's parks with the neighborhoods.

# GOAL 1

*Maximize the use of land within the City of North Branch in a way that strengthens the local economy, preserves natural resources, and ensures a high-quality of life for all residents.*



## **Goals, Objectives, and Policies**

The following is the primary goal for land use followed by a series of objectives and policies intended to influence future land use decisions in a direction that is aligned with the Vision Statement.

### **OBJECTIVE 1.1**

**PRESERVE AND ENHANCE THE SMALL BUSINESS ENVIRONMENT OF THE DOWNTOWN.**

#### *Policy 1.1.1*

*Encourage and promote the renovation and rehabilitation of existing buildings within the downtown.*

#### *Policy 1.1.2*

*Connect businesses with façade improvement grants and loans.*

#### *Policy 1.1.3*

*Make infrastructure improvements that enhance the pedestrian realm such as lighting and seating and gathering places for community activities.*

### **OBJECTIVE 1.2**

**USE LAND IN A MANNER THAT STRENGTHENS THE ECONOMY OF NORTH BRANCH.**

#### *Policy 1.2.1*

*Strive for a balance of areas guided for industrial uses and areas guided for commercial uses.*

#### *Policy 1.2.2*

*Continue to identify all areas prime for redevelopment and analyze the best use for each property. Work to re-zone these properties and amend this plan as appropriate.*

#### *Policy 1.2.3*

*Increase the number of residential housing units in the City to attract new residents to increase the workforce and thereby improve the local market for commercial and industrial opportunities.*

#### *Policy 1.2.4*

*Actively work to infill vacant land within the Urban Service Area that will be connected to municipal services, while preserving a network of functional ecologic areas.*

*Policy 1.2.5*

*Allow for mixed uses within some zoning districts to accommodate commercial, retail and residential uses.*

*Policy 1.2.6*

*Discourage “leapfrog” patterns of development on municipal utilities.*

**OBJECTIVE 1.3**

**PROTECT AND PRESERVE NATURAL RESOURCES FOR LONG TERM ENVIRONMENTAL SUSTAINABILITY AND THE ENJOYMENT OF RESIDENTS.**

*Policy 1.3.1*

*Work with landowners and other governmental entities to either obtain property or ensure protection of natural areas with high ecological value.*

*Policy 1.3.2*

*Discourage patterns of development that would stress existing infrastructure and ecosystems.*

**OBJECTIVE 1.4: USE LAND IN A MANNER THAT ENSURES A HIGH QUALITY OF LIFE FOR RESIDENTS.**

*Policy 1.4.1*

*Expand parks, trails, sidewalks and other amenities as the City’s population continues to grow.*

*Policy 1.4.2*

*Review and encourage methods of development which promote linkages among residential, civic, commercial, industrial and recreational facilities using trails and sidewalks for safe and enjoyable pedestrian uses and provides pedestrian connections between complementary land uses.*

*Policy 1.4.3*

*Review and encourage street and sidewalk designs to provide for easy access by police, fire and ambulance services, school buses, and plowing.*

## Land Use Plan

The land use plan provides the framework for the growth and development of the City. The land use plan serves as a guide for the character and intensity of development and will be supported by other land use controls and public actions taken pursuant to the Comprehensive Plan.

The land use map appears in Figure 3-2: Future Land Use. The plan illustrated by this map evolved from inputs and evaluations received through the planning process. The Plan builds on the existing community pattern to achieve the desired vision for the future of North Branch. Where the Future Land Use map guides property for something different than the existing zoning, zoning approvals such as variances and conditional use permits should not be considered inconsistent with the comprehensive plan if otherwise deemed appropriate.

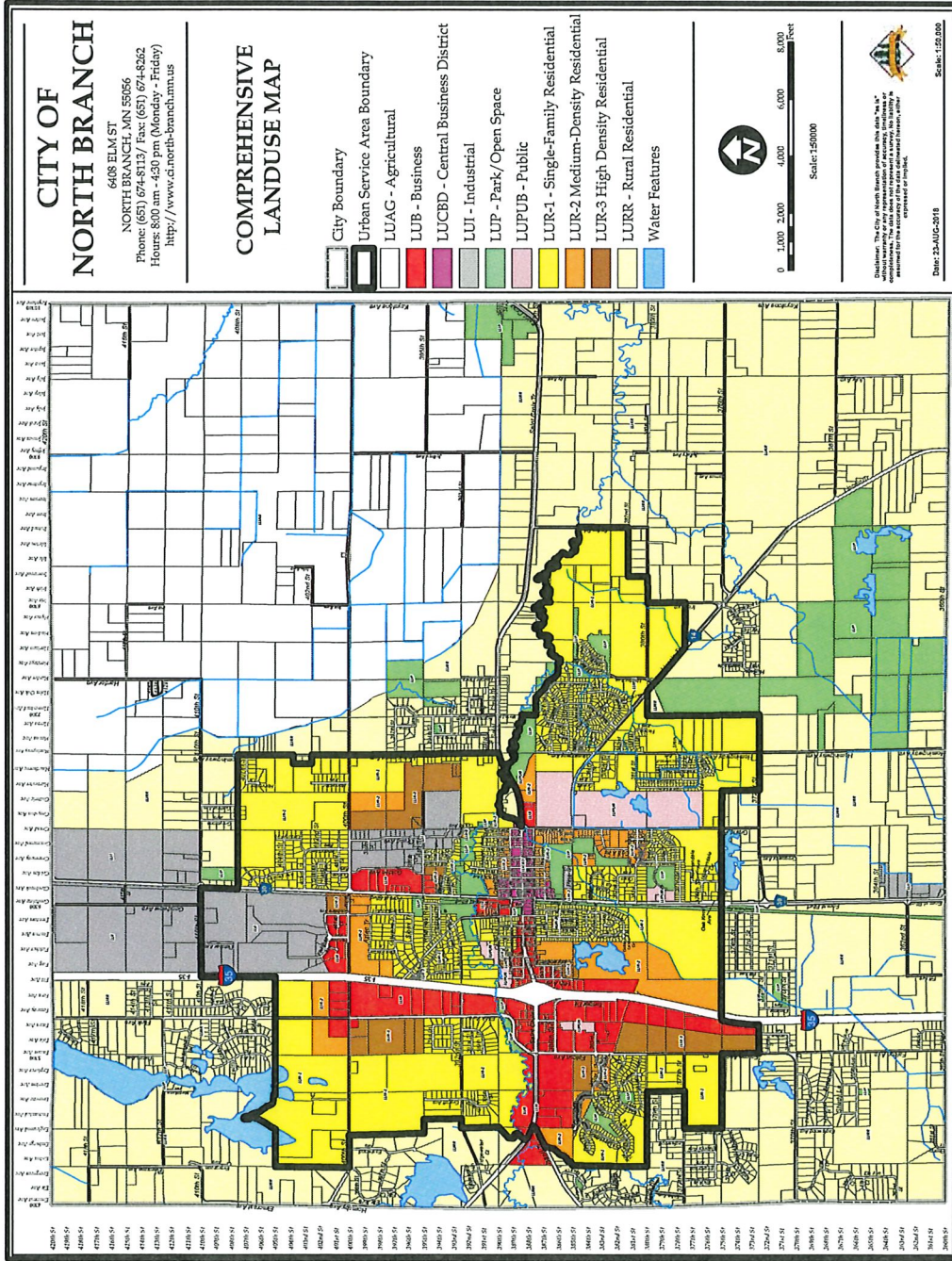
**Table 3 - B: Summary of Future Land Use**

Future Land Use by Designation	Gross Acres*	Net Percent of City
Agriculture (AG)	5,271.4	22.9%
Rural Residential (RR)	9,992.6	43.3%
Low Density Residential (R1)	3,492.5	15.1%
Medium Density Residential (R3)	577.2	2.5%
High Density Residential (R3)	330.8	1.4%
Central Business District (CBD)	71.4	.3%
General Business District (B)	802.2	3.5%
Industrial District (I)	1,123.7	4.9%

\*Gross acres of use determined by GIS mapping data and does not include public and institutional areas which are separately defined under the proposed land use map.



Figure 3-2:  
Future Land Use



## *Residential*

### **Rural Residential**

The land use in this category is hobby farms and homes on large lots. The area is outside of the designated Urban Service Area and will be served by wells and individual septic systems. Individual lots must be a minimum size of one acre buildable, and the presence of wetlands and other natural features may result in actual lot sizes much larger than one acre in order to achieve the required one acre buildable standard. This lowest density of residential development is intended to reduce demands on the rural roads and protect the natural resources found in North Branch. The primary zoning district that would generally correspond to this land use designation would be the LURR Rural Residential District.

### **Low Density Residential**

The land use in this category is single-family detached homes served by municipal utilities. This plan anticipates that this is where the majority of new housing units will be added over the next 20 years. One of the biggest strengths of the City of North Branch is its attractiveness to young families. Part of this attraction is due to the anticipated development of quality affordable single-family homes, and the existing parks and trails system, school district and proximity to the metropolitan areas of Minneapolis and St. Paul. Continuing to add new housing units will provide more opportunities for all families to locate in North Branch, while making older housing more affordable. Densities targeted in this category are limited to no more than 4 dwelling units per acre. The primary zoning district that would generally correspond to this land use designation would be the LUR-1 Single Family District.

### **Medium Density Residential**

Medium density residential uses are typically in the form of single family homes on smaller lot sizes, townhomes, duplexes, and small scale apartment and condo buildings and served by municipal utilities. Advantages of these types of housing are that less property maintenance may be required since yards are smaller and some medium density developments may have associations that handle lawn care and snow removal. As a result, these types of housing tend to be very attractive to seniors and professionals. Densities targeted in this category are up to 6 dwelling units per acre. The primary zoning district that would generally correspond to this land use designation would be the LUR-2 Medium Density District.

### **High Density Residential**

The High Density Residential land use category consists of multiple family attached housing oriented in a vertical fashion, more commonly referred to as apartments and condominiums and served by municipal utilities. Housing units may be owner or renter occupied. High density housing is an efficient land use because it contains more dwelling units per acre than other residential uses.

High density residential uses are located in places with compatible adjacent land uses and where the local street system will accommodate the traffic. Ideally, they are located near commercial uses or employment centers to maximize the number of people who can walk or use alternative modes of transportation.

The densities targeted in this category are over 6 dwelling units per acre. The primary zoning district that would correspond to this land use designation would be the LUR-3 High Density Residential.

### *Agriculture*

#### **Agriculture**

The city’s strong agricultural heritage is clearly visible in the farm fields located in the northeast corner of the city. The fields, bordered by the historic St. Croix River bluff line, are dotted with artesian wells, have deep pockets of organic soils generally not conducive to development, and are linked by a series of more traditional farm style roads. Single family homes are present and seem accessory to the commercial operations of the farms. Non-agricultural uses will be limited and densities targeted in this category are no more than one dwelling unit per 10 acres. The primary zoning district that would correspond to this land use designation would be the LUAG Agriculture.

### *Commercial*

#### **Downtown Business**

Although a number of single family homes currently exist in the Central Business District, new residential development should be part of a mixed use plan with a balance of housing and commercial uses within a single building or complex. Replacing single family homes with mixed use structures and redeveloping existing commercial buildings will help support a healthy business environment and allow more people to be able to walk to their destinations.

Buildings should be located close to the street but with ample space for sidewalks. Parking should generally remain in the rear of the property when on-premise parking is offered. Streetscape improvements that enhance the pedestrian realm, such as planters, hanging baskets, street trees, outdoor seating, public art, street lighting, should be prioritized here. The City should continue to work with business owners and encourage façade improvements by connecting them to grant and funding opportunities. The primary zoning district that would correspond to this land use designation would be the LUCBD Central Business District.

#### **General Business**

The General Business guiding designation allows a wide variety of uses including those for convenience oriented, neighborhood-oriented, community-oriented and bulk retail-oriented markets and consumers. These areas provide a wide range of goods and services to serve many of the shopping and dining needs of people who live, work in or visit the City. Certain commercial uses, such as those devoted to motor vehicle-oriented retail or service activities (e.g., vehicle service and fuel sales, drive-through businesses and sales of motor vehicles) depend on access to major transportation routes and often have characteristics that are incompatible with residential areas. Other commercial uses, such as those involving wholesale and retail trade of large volume or bulk commercial items with on-site storage and warehousing, may have both commercial and industrial characteristics.

This guiding designation also allows a variety of uses including professional offices, administrative offices, research and laboratory facilities, wholesale showrooms, service facilities (e.g., conference

centers, lodging and reception halls), and business uses having limited contact with the general public. These areas may provide for limited retail sale of convenience-type products and services for the immediate surrounding area.

Commercial uses in this classification are expected to develop with the highest standards of design and performance, with a higher level of amenities such as landscaping, preservation of natural features, architectural controls, pedestrian trails and other features. Office parks and campus-style developments are encouraged in these areas. Commercial office uses can also serve as, and provide for, an orderly and progressive transition between higher and lower intensity land uses. Locations adjacent to the Central Business District, TH95 and I35 may be subject to stricter design standards so as to achieve an attractive, inviting and high quality retail shopping and commercial services in areas of high visibility and sensitivity to surrounding uses. The primary zoning district that would correspond to this land use designation would be the LUB General Business District.

### **Industrial**

Industrial uses include all forms of businesses with manufacturing, distribution, warehousing or other industrial uses that may have consequences typically associated an industrial activity such as noise, odor, dust or low quality aesthetics. As a result, when these uses are in close proximity to residential, park and open space uses, additional restrictions may be appropriate. These uses may generate truck traffic and may involve outdoor storage. Locations adjacent to residential uses, I35, TH95 or other high visibility areas may be subject to additional design standards. The primary zoning district that would correspond to this land use designation would be the LUI Industrial District.

### **Public/Institutional**

Public, semi-public or institutional uses are comprised of churches, schools, city offices, public works facilities, fire stations, public utilities, and other governmental or non-profit entities. This use may also include parks, designated open spaces and regional storm water management, such as publicly maintained storm water management ponds. This land use classification is intended to differentiate these sites as providing a common amenity or service and not land that is intended to be developed. The primary zoning district that would correspond to this land use designation would be the LUPUB Public/Institutional District.

### ***Required Zoning Changes***

The City has adopted zoning regulations for the purpose of carrying out the policies and goals of the land use plan element of the Comprehensive Plan. The application of zoning districts and the specific regulations should support the objectives of the Plan. As a result, an outcome of adopting the plan will be the review and modification of the Zoning Ordinance and Zoning Map as necessary.

The land use plan provides the basis for guiding zoning decisions that will be made by the City and private property owners. Minnesota Statutes Section 462.357 states that “.....the planning agency shall study and propose to the governing body reasonable and practical means for putting the plan into effect. Subject to the limitations of the following sections, such means include, but not limited to, zoning regulations, for the subdivision of land, an official map.....” This statute anticipates that the

zoning regulations will be reviewed and updated to ensure implementation of the land use plan. In a broad sense, this review of the zoning ordinance should examine the following:

- The regulations for each zoning district should be reviewed to determine if they fit with the intent of the Comprehensive Plan.
- Zoning districts should be examined in relationship to the land use designation. Changes in zoning districts may be needed to match zoning with land use.
- The City will need to thoroughly review and update its Ordinances to address inconsistencies and conflicts to integrate the concepts described in this Comprehensive Plan. Updating the Zoning Ordinance will be a large undertaking that will require significant input, time and energy.

One of the policy decisions the City will need to make is how to implement the land use plan through the zoning map. Unlike the Metropolitan Land Planning Act (Minnesota Statutes Section 473), which requires consistency between the land use plan and zoning in cities within the Twin Cities metropolitan area, North Branch may choose to take a number of implementation strategies. Each has varying implications for existing property uses and current zoning. The strategies include, but are not limited to, the following:

- Keep current zoning in place until such time as the use terminates or redevelopment is initiated.
- Rezone property to a zoning district compatible with a land use plan category.
- Develop an interim strategy to address current use situations as they relate to long term objectives.



# 2

## VALUES AND VISION

### Values

Residents and other stakeholders were asked what they loved about North Branch at the Community Expo, at a chamber meeting, and at the first community café. The values expressed most often were:

**THE STRONG SENSE OF COMMUNITY**

**A HOME TOWN FEEL**

**THE CITY'S COMMITMENT TO ITS PARKS AND TRAILS**

**A COMMUNITY THAT ENCOURAGES BIKING AND WALKING**

**QUALITY SCHOOLS**

These values were reiterated at each of the other three community cafes and served as the foundation for the vision statements expressed below.

### *Vision for North Branch in 10 years .....*

North Branch is a growing and safe community with outstanding natural and recreational amenities and opportunities for all, and well maintained infrastructure, vibrant business districts and neighborhoods, and provides residents with an excellent quality of life.

### *Vision for Land Use*

The City of North Branch is a complete community that provides a well-balanced and wide range of places to live, work, shop and play. Land uses make efficient use of existing infrastructure, contribute to a strong local economy, preserve natural resources and contribute to a high quality of life.

#### Residential Uses

A diverse housing stock allows people at any stage in their life to be able to find a home in North Branch. Older housing is well maintained while new development expands housing options to complement existing neighborhoods.

#### Commercial and Industrial Uses

A significant amount of commercial and industrial uses can be found within the City that allow residents to work in North Branch, while also being able to meet all of their day-to-day needs. Commercial and industrial uses are compatible with their surrounding land uses.

#### Public/Institutional

Public and institutional uses are viewed as valued resources to the community and contribute to making North Branch a better place to live and do business.



*North Branch is a growing and safe community with outstanding natural and recreational amenities and opportunities for all, and well maintained infrastructure, vibrant business districts and neighborhoods, and provides residents with an excellent quality of life.*

### Parks, Open Spaces and Trails

Quality parks and open space are within close proximity to all residents, providing recreational opportunities to encourage an active lifestyle. A wide variety of community facilities are provided to serve a range of interests. The City of North Branch has a proposed trail system that will allow bicycle and pedestrian access to most of the major pedestrian generators within the city, including schools, shopping areas, and parks. Many of the proposed trails are destinations in themselves, offering scenic walks or rides around many of the city's scenic views. With recreational activities such as running, bicycling, and walking increasing in popularity, the city's trail system will not only offer a recreational opportunity in itself, but will also help to connect the community's parks with the neighborhoods.

### *Vision for Economic Development*

A strong business community is the cornerstone of a vibrant city. Economic development encompasses the policies and activities that improve the long term economic and social wellbeing of the community. Communities with strong economies have financial resources to support the levels of service that their residents need and desire. Successful communities realize that economic development is about bringing together social, natural, infrastructure, and economic assets in the community to sustain the "whole" community.

### *Vision for Municipal Utilities*

The City of North Branch, individually and in collaboration with the North Branch Water & Light Utility, has a significant investment in its existing public utilities systems (water, wastewater and stormwater). The continued expansion and development within the Urban Service Area will require the extension of public utilities. In general, the existing infrastructure system is well-positioned and of adequate size to support expansion. However, coordination will be required between community development and the required expansion of the utility system. In some cases, the cost of providing utility service may dictate where and when future growth will occur.

### *Vision for Transportation*

North Branch is located at the cross roads of I35 and TH95, providing for ease in and out of the city. Within the city limits, however, these features will require a coordinated approach to providing movement of traffic through the city to local destinations, safe pedestrian and bike corridors, and improved intersections to safely serve the increasing number of commercial vehicles passing through North Branch.

### *Vision for the Environment and Sustainability*

Natural infrastructure includes all systems that relate to natural resources and contribute to an improved public life. Natural infrastructure considers the full range of natural resource uses including economic, environmental, health, cultural, and aesthetic. This broad view leads us to include surface water, groundwater, stormwater, wastewater, drinking water, geology, topography, soils, natural areas, open space, green spaces, urban forest, habitat, vegetation, scenic views, and parks and trails in natural infrastructure.

Natural infrastructure is a key element in planning where development should or should not take place within a city. This element is important to communities and development as it avoids certain development hazards, provides health benefits to citizens, protects ecological systems and enhances biological diversity, and offers communities unique quality of life components. Consideration of natural infrastructure ensures that homes are built upon stable dry soils, provides clean drinking water, accounts for resource based economic activities, provides scenic views and open spaces, and plans development that respect the integrity of natural systems and incorporate natural features into development.

### *Minnesota GreenStep City*

In 2018, the Mayor and City Council approved a resolution to make North Branch a GreenStep City through the MPCA and League of Minnesota Cities' program. Minnesota GreenStep Cities is a voluntary challenge, assistance and recognition program to help cities achieve their sustainability and quality-of-life goals. This free continuous improvement program, managed by a public-private partnership, is based upon 29 best practices. Each best practice can be implemented by completing one or more actions at a 1, 2 or 3-star level, from a list of four to eight actions. These actions are tailored to all Minnesota cities, focus on cost savings and energy use reduction, and encourage civic innovation. North Branch is currently a Step 1 City. As North Branch plans for the future, it will continue to consider GreenStep City Best Management Practices as they relate to the goals and objectives of this comprehensive plan.



# Comprehensive Plan Questionnaire: Key Patterns and Trends

## 1. Community Strengths and Identity

Across the early sections of the questionnaire (pages 2–3), respondents consistently highlight:

- A strong sense of community pride and belonging.
- The small-town feel and safety that make the area family-friendly.
- Deep appreciation for natural spaces, recreation, and access to the outdoors.
- Recognition that schools and local events form the heart of community identity.

**Trend:** The community’s greatest strength lies in its cohesion and shared values. Schools, local partnerships, and volunteerism serve as anchors of civic pride and engagement.

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## 2. Transportation and Accessibility

From the middle portion of the survey (around page 6), respondents discuss:

- A strong desire for safe biking and walking routes, particularly for students and families.
- Concerns about traffic flow near schools and main corridors.

**Trend:** Participants want more walkable, connected routes—aligning with health, safety, and sustainability goals. There is clear community interest in making it easier to move around town without a car.

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## 3. Education and Workforce Alignment

Later responses (pages 7–8) show widespread recognition of:

- Education quality as a defining strength of the community.

- Calls for more career-connected learning, technical training, and real-world skills.
- Alignment with the district’s goal of ensuring students graduate with a plan, not by chance.

**Trend:** The community supports educational innovation—especially programs that bridge academics with career readiness and local workforce opportunities.

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#### **4. Economic and Environmental Balance**

Responses from pages 9–10 highlight the desire to:

- Support small businesses and encourage local job creation.
- Promote sustainable growth that balances targeted industry development with environmental preservation.
- Explore renewable energy and responsible land use; Maintain and protect natural resources and open spaces.

**Trend:** Residents value a balanced approach—advancing economic opportunity while safeguarding the environment and rural character that define the community.

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#### **5. Community Engagement and Governance**

The final sections (page 11 and beyond) emphasize:

- Appreciation for transparent communication from local leaders.
- Calls for inclusive planning that welcomes voices from all age groups, especially youth and families.
- Recognition that civic collaboration is essential for moving forward.

**Trend:** There is strong appetite for collaboration and communication—people want to be informed, involved, and part of shaping the community’s future.