



NORTH BRANCH

—Minnesota—

**PARKS, TRAILS AND OPEN SPACE
COMMISSION
REGULAR AGENDA
MONDAY, JULY 1, 2024 @ 7:00 PM
CITY HALL, 6408 ELM STREET, NORTH
BRANCH, MN 55056**

Charles Klopp
Chair

Bob Bernier
Commissioner

Farfum Ladroma
Commissioner

Lynn Wilson
Commissioner

1. CALL TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL
4. ADDITIONS TO THE AGENDA
5. MINUTES
 - a. Approval of June 3, 2024, PTOS Commission Minutes ACTION
6. REPORTS
 - a. Park Fund Balances ACTION
 - b. Project Updates INFO
7. NEW BUSINESS
 - a. Commission Application - Wendy Chelberg ACTION
 - b. Keller Acres ACTION
 - c. Members Credit Union Plat ACTION
8. OLD BUSINESS
 - a. PTOS Strategic Plan INFO
9. NEXT MEETING - 08/05/2024 - 7PM
10. ADJOURNMENT



Prepared By:
Nathan Sondrol, GIS Specialist/Parks Director
Presenter: Nathan Sondrol, GIS Specialist/Parks Director
Date: 06/28/2024

Board & Commission: Parks, Trails and Open Space Commission

Subject: Approval of June 3, 2024, PTOS Commission Minutes

Voting Requirements:

Voting Options Simple Majority



NORTH BRANCH

—Minnesota—

**PARKS, TRAILS AND OPEN SPACE
COMMISSION
REGULAR AGENDA
MONDAY, JUNE 3, 2024 @ 7:00 PM
CITY HALL, 6408 ELM STREET, NORTH
BRANCH, MN 55056**

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MINUTES OF THE PROCEEDINGS OF THE OF THE CITY OF NORTH BRANCH IN THE COUNTY OF CHISAGO AND IN THE STATE OF MINNESOTA

REGULAR MEETING

Monday, June 3, 2024

1. CALL TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL
4. PUBLIC COMMENT
5. ADDITIONS TO THE AGENDA

- a. Additions to the Agenda

ACTION

None

6. MINUTES
- a. Approval of Minutes

ACTION

Motion by Ladroma to approve the minutes of the April 1, May 6, 2024 meetings and May 6, 2024 special meeting minutes. Seconded by Klopp. All voted AYE.

7. REPORTS
- a. Park Fund Balances

INFO

Sondrol provided an overview of the park fund balances.

- b. Project Updates

INFO

Sondrol provided an overview of the project updates.

He noted that the pickleball courts were scheduled to be completed in June and walking trails later this summer.

Wilson commended the public works crew for all their work to help bring the project under budget and allow for the additional walkway construction.

Sondrol noted that the language on the signage for the Riverwalk park dome was a trademark.

He noted that the seeding had been completed and would be looking to hold a grand opening in August.

He noted that a ribbon cutting for the Sunrise Prairie Regional Trail would be taking place on June 7 at the Harris trailhead and that the county would be conducting seal coating and fog sealing maintenance on the trail.

He noted that he is working with the Max Malmquist on survey costs and locations for potential future acquisition of the Malmquist property.

He noted that the Concerts in the Park would be starting on June 18 at the North Branch Viking Plaza and then again on June 25 at the Viking Plaza at the High School and the concerts would then shift back to Central Park in July and August.

8. NEW BUSINESS

a. Veterans Memorial

ACTION

Sondrol provided an overview of the North Branch Veterans Memorial Committee's request for the city to sponsor grant applications for the Veterans Memorial for funding that requires a local government entity to be the fiscal agent. He noted that an agreement could be developed similar to the agreement between the Veterans Committee and the City that was utilized for the site plan for the memorial.

Joe Scaramell, thanked the commission and veterans for their support of the project and bringing it to this point. He provided new marketing materials for the memorial to the commission and members of the public and noted that a website is in the process of being completed to help promote and provide info on the memorial and will be up and running in the next month. Scaramell presented the marketing video of the memorial to the commission, noting that several of the members that participated in the video serve the North Branch Community in a variety of ways.

Scaramell noted that the project has been in the process for a long time and has explored several options including a location. He noted that school site location had potential issues of the long term ability of memorial to remain there and that the memorial being centrally located and highly visible has been a top priority for the veterans for the memorial.

Bob Streater felt that the Veterans Memorial is a great project but expressed concerns with future impacts to Midsummer Days with the Veterans Memorial going into the park. He felt that the memorial should be funded by community support and not utilize state grant funding and the funding from the state should be utilized for helping veterans with housing and mental health issues.

Klopp noted that the American Legion hosts the Midsummer Days carnival and that they were the ones who identified Central Park as the location for the memorial with the understanding of the impact on the

carnival.

Scaramell noted that the legion has been very involved with memorial location in the park and have discussed modifying the carnival to not infringe upon the memorial location site. He noted that there are several grant funding opportunities that are focused to regional projects including memorials. He noted that significant planning has been put into the determining the location of the memorial in Central Park. He noted that placing the memorial in this location put Veterans front and center in the community.

Klopp noted that the agenda item tonight was to discuss supporting a funding request for the memorial not the placement of the memorial. Sondrol added that the request was for the city to provide support and act as a project sponsor for state grant funding applications. Klopp inquired about the source of the funds. Sondrol noted that there are legacy funds, legislative appropriations and other opportunities.

Wilson inquired if there are funds that are specifically identified for projects as memorials. Scaramell noted that there are grant programs that are identified specifically set up for projects such as memorials noting the City of Wyoming recently received a \$100,000 grant for their project. He noted that the veterans committee is working with Senator Koran to help identify funding opportunities.

Ladroma inquired if there is a timeline for the grant funding. Scaramell noted that deadline for legislative funding is May 2025. Ladroma expressed that he would like to see an MOU. Neider inquired as to a timeline for the funds to be utilized if they were received. Klopp inquired how grant funding may impact competing with concerts in the park funding. Sondrol noted that it would all depend on the grant funding applied for. He noted that the concerts in the park is from a separate funding opportunity. Wilson inquired if there was an advantage to having this completed sooner than later. Scaramell felt that is very beneficial to have it submitted sooner than later. Wilson inquired about other fundraising activities planned. Scaramell noted that the committee will be hosting a gala and are exploring other event activities for fundraising.

Streater felt that the commission had a duty to analyze the location of the memorial and impact on the use of the park. He added that he had provided the initial thoughts to the veterans memorial committee to explore regional grant funding to acquire another site for the Veterans Memorial that would be in a safer location and would not create a conflict or impact to Midsummer days carnival.

Ladroma noted that cameras have been installed in Central park that could provide additional help for deterring vandalism to the memorial.

Motion by Ladroma for city staff to develop a draft agreement between the city and veterans memorial committee for the city to act as a fiscal sponsor for grant funding applications and bring it back to the next meeting for review. Seconded by Wilson. All voted AYE. Motion carried.

b. BCBS/National Fitness Campaign (NFC)

ACTION

Sondrol provided the commission with an overview of the BCBS/National Fitness Campaign grant funding opportunity.

Bernier noted that there is one in St Cloud and during his travels has not noticed much use on it. He did

not feel that this was something that the city should pursue at this time.

There was consensus from the commission to not pursue this at this time.

c. Ragnar Relay Special Event Permit

ACTION

Sondrol provided an overview of the Ragnar Relay special event permit scheduled for August 9/10, 2024.

Motion by Wilson to approve the Ragnar Relay special event permit application for August 9/10 2024. Seconded by Bernier. All voted AYE. Motion carried.

d. Meadows Ridge Preliminary Plat

ACTION

Sondrol provided an overview of the Meadows Ridge Planned Unit Development. He noted that the development is within the Meadows North Park credit utilization area. He noted that there are trails and sidewalks planned throughout the development

Neider inquired how many units were in development. Sondrol noted 342 units were proposed. Wilson inquired if the city had the ability to accommodate this number of units. Sondrol noted that an EAW was being completed to address those concerns. He noted that trail connections were being installed along Flink and 400th and that an open space park area was being planned to connect to the proposed adjacent Chain Lake Shore development providing access to Chain Lake. Sondrol noted that the development was planned to be completed in 5 phases.

Ladroma inquired if there is a park to resident ratio or if there is a distance. Sondrol noted that the city's comprehensive plans identifies having a walkable and bikeable community that provide parks and open space within a 1/2 mile or 10 minute walk.

Wilson inquired if the ponds were usable open space. Sondrol noted that the ponds were intended for stormwater management and that trails had been identified in those locations. Wilson suggested pollinator plantings in the outlot ponding areas.

Ladroma inquired about access to Chain Lake. Sondrol showed an overview of the concept plan for the Chain Lake Shores development that would connect to the open space park area in Meadows Ridge allowing access to the lake.

Bernier inquired how many additional units there would be outside the park credit utilization area. Sondrol noted 60 based on the preliminary plat.

Motion by Bernier to recommend the acceptance of cash for park dedication fees for the units above the park credit utilization area. Seconded by Ladroma. All voted AYE. Motion carried.

e. Pollinator Pathways Request for Proposal (RFP)

ACTION

Sondrol provided an overview of the Pollinator Planting RFP to the commission. He noted that the SWCD was planning to submit an application and that they were looking for interest from community partners on potential projects. He noted that Clayton Anderson Park had been identified in the past as a location for pollinator plantings and possible Oak Savanna.

Wilson inquired if this is something that could be extended to private residences. Sondrol noted that Chisago SWCD could potentially look into this.

Bernier inquired if the SWCD would be requesting the city to contribute to the 10% match. Sondrol noted that the city would need to provide a match, noting that it could be in-kind labor. He would not expect the match to exceed a maximum of 10,000. Wilson inquired if the grant would allow for the

purchase of pollinator trees and how that may help with the city's Tree City designation. Sondrol noted that it would.

Bernier inquired where the funds would come from. Sondrol noted the park improvement fund or general levy if the in-kind match was utilized.

Wilson felt that there was definite interest in this. Bernier felt that trail development would be a higher priority than increasing pollinator habitat at this location.

Motion by Klopp to support the Chisago SWCD pollinator pathway RFP. Seconded by Ladroma. 3 (AYES) 1 (NAY)

Wilson inquired if any of the other commissions had appointed their representative for the joint commission meeting. Mayor Scheiber noted that he is working with Interim Administrator Jason Ziemer.

9. OLD BUSINESS

a. PTOS Strategic Plan

INFO

Sondrol provided an overview of the draft Wildridge Park community survey based on initial discussion and feedback from the Wildridge Homeowners Association meeting with city staff.

Dave Maas, noted that when they purchased their home they were informed that area behind their home would never be developed and not told that there was a plan for soccer fields or a park. He noted that he did not want to see soccer fields at this location.

Sondrol noted that the commission has identified placing info kiosks in each park to help residents or visitors more aware of future plans/development. Wilson noted that she has heard from others who have purchased homes in the neighborhood that were made aware.

Vicky Maas, inquired if the wildridge master plan is set in stone and going to happen. Klopp noted that the city is seeking feedback from the community what they would like to see in that park.

Haylee Goulet, noted that she contacted the city and attended the commission previously to work with the city to conduct a survey to help educate and inform the neighborhood of the park and what they would like to see in the park.

Neider noted that she would encourage new residents to contact the city and do as much research as possible to help know what is with and around that property.

Ladroma noted that the park is a public park and is open and available to all public.

Sondrol noted that the city is working with Haylee Goulet of the Wildridge development to contact residents in the Wildridge neighborhood and the city would be posting on its website and social media sites. He noted that the survey helps guide and prioritize future park development.

Goulet noted she would work with each HOA to obtain contact info and distribute the survey to their respective associations.

Sondrol inquired if the commission had any additional info that they would like to include in the survey.

There was consensus support to move forward with the survey.

Bob Streater, expressed that he along with others did not feel welcome to provide their comments at public meeting over the past few years. He felt that the Williams Park site has significant opportunities along County Road 30/Old Highway 61 and that community gardens may not be use in that location. He also expressed the ability to utilize storm water retention ponds as park/open space areas.

Klopp noted that the commission is in the process of developing a strategic plan of its parks, trails and open space facilities. He added that there is an agreement in place with the Williams Park Community Gardens that would relocate the gardens with a 1 year notice.

Streater felt that the commission should look to engage citizen and community groups to conduct long term planning for its parks and trails and open space system. Wilson inquired as to how engage the community. Streater suggested going out to neighborhoods and to get community input. Wilson suggested conducting outreach at the concerts as an option. Klopp noted that the City Council has started a joint commission meetings.

Streater noted that he is part of a group that has started called North Branch First to obtain nonpartisan discussion and solutions.

Bernier inquired if Streater felt that there is a desire to buildout Williams Park. Streater felt that the community is high taxed and that a plan needs to be developed to begin looking at fundraising options. Streater felt that the community could capitalize on Old Highway 61 and tourism efforts at Williams Park.

10. NEXT MEETING - July 1, 2024: 7PM

11. ADJOURNMENT

Motion by Ladroma to adjourn. Seconded by Wilson. Meeting adjourned.

NORTH BRANCH
City of North Branch
Staff Report

Prepared By:
Nathan Sondrol, GIS Specialist/Parks Director
Presenter: Nathan Sondrol, GIS Specialist/Parks Director
Date: 06/28/2024

Board & Commission: Parks, Trails and Open Space Commission

Subject: Park Fund Balances

The following are the balances of the respective funds as of 6/28/24:

Park Dedication Fund Balances:

*Funds received through Park Dedication can only be used for the acquisition and development of parks.
The Park Dedication Fee is \$1800 per lot.*

Park Dedication Fund Balance	\$329,282.73
<i>Committed Funds</i>	
Meadows North Park	\$6,459.75
Riverwalk Dome Structure Electric	\$3,000.00
Disc Golf Course	\$5,683.53
CSAH 30 SRTS Trail	\$38,570.50
Northwood Pickleball Court/Site Imp	\$79,774.96
Harder/Tower Ballfield Fencing	\$970.00
Tower Fields Drainage	\$6,654.88
<i>Total Committed Funds</i>	<i>\$141,113.62</i>
Adjusted Balance	\$188,169.11

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Capital Improvement Fund Balances:

Funds in the Capital Improvement Funds are generated through levies from taxpayer dollars.

The City Council started to levy funds for the Library and Community Center in 2003 with the anticipation of constructing a library with community meeting rooms.

In 2003, the City Council also started levying funds for Park Improvements with the anticipation of not having to increase taxes for costs associated with a bond referendum for the completion of Williams and Wildridge Park or land acquisition. Both of these funds can be used at the discretion of the City Council.

Community Center Fund (475)	\$170,359.06
Park Improvement Fund (403)	\$108,566.13
<i>Committed Funds</i>	
Fox Run PUD	\$60,000.00
Lions Park Benches	\$600.00
ECRAC Summer Concerts 2023	\$650.00
ECRAC Summer Concerts 2024	\$7,035.00
MERC Foundation HP Field 1 Dugouts	\$6,000.00
<i>Total Committed Funds</i>	<i>\$74,285.00</i>
Park Improvement Fund Adjusted Balance	\$34,281.13

Voting Requirements:

Voting Options Simple Majority



Prepared By:
Nathan Sondrol, GIS Specialist/Parks Director
Presenter: Nathan Sondrol, GIS Specialist/Parks Director
Date: 06/28/2024

Board & Commission: Parks, Trails and Open Space Commission

Subject: Project Updates

Voting Requirements:

Voting Options Simple Majority

Parks, Trails & Open Space Commission Project Updates

Current Projects	Progress and Next Steps	Approval Date	Estimated Completion Date	Estimated Cost
Northwood Park Pickleball Court and Site Improvements	The City received a grant of \$140,000 from the Outdoor Recreation grant program from the DNR. The bids were awarded for the pickleball courts to Winberg Companies LLC. The playground surfacing has been replaced by public works and the base grading for the trail is completed. The pickleball courts have been paved and fencing has been installed. The pickleball courts are scheduled to be completed mid-July 2024. Portions of the park will not be accessible during the summer to allow for safe construction.	3/23	Summer/ Fall 2024	Total \$280,000 City Match \$140,000
Clayton Anderson Park	The PTOS Commission recommended approval of up to \$2,500 to acquire and place the limestone rock in the park. The City Council approved this at their April 9, 2024. Public Works will work with the developer to move the limestone. The Council approved support of the Chisago SWCD Pollinator Pathways RFP for adding plantings to the park. Award notifications will in fall 2024.			
Riverwalk Park	Natural Space Domes donated the dome structure at the park. They would like to add a plaque at the dome structure. Below is proposed language: <i>This Park Dome was donated by Natural Spaces Domes of North Branch in memory and honor of MN State Senator Janet Johnson and Kids for Saving Earth founder 11 year old Clinton Hill. Both were defenders of the Planet (R) and would want you to work to protect our beautiful Earth.</i>			
Park Signage	The City Council approved the purchase of new monument signage at 7 parks. The signs have been installed at all parks except Tower Fields and Central Park. These will be installed after construction at each location.	3/23	Summer 2024	
Harder Park Disc Golf Course	The NBDGA is in the process of designing signage for the course. The PTOS commission approved moving forward with the concept kiosk and to bring the final design back for approval. The City Council approved the NBDGA funding request of \$5,000 for alternate short tees and an alternate basket location for full build out of the course. The	6/23	Spring 2024	

	tee pads and kiosk sign will be installed in the spring. Trees have been planted around the course. A draft kiosk sign has been created.			
Ballfield Improvements	The fencing improvements at Harder and Tower Park have been completed. Future improvements to be addressed are aglime, dugout roofs; drainage, base/bench replacement and fence toprail covers;	Dec 2022	Fall 2023/Spring 24	\$125,000
MERC Grant	The City received grant funding for new dugout roofs for Field 1 at Harder Park.		Summer 2024	
Veterans Memorial	The City Council approved the site plan and MOU with the North Branch Veterans Memorial Group at the July 25, 2023 meeting and are working on their marketing and fundraising efforts. The coming soon sign has been installed in the park. City staff are working a draft MOU agreement and with plans to bring this to the August meeting.		2025/2026	
Tower Fields Drainage Improvements	The City was notified that it received a \$7,000 grant from the MN Twins – Field for Kids Grant for drainage improvements to Tower Fields. The City Council approved up to \$13,000 to complete the drainage improvements in fall 2023. The City has been notified that it will be provided an additional \$8,000 of funding thanks to player donations for the full grant request amount of \$15,000! Access to the field due to wet conditions has delayed adding the additional lime to the fields and dugout areas.		Spring 2024	
Tower Fields	Rehab of the water tower is scheduled to be completed by June 18, 2024.	2023	June 18, 2024	
Flink Ave Trail Sunrise Bluff 2 Phase II (Co Mkt – 392)	City Staff submitted a grant to MNDOT AT program received funding of \$574,332 to complete the trail section. WSB will begin working on the engineering for project.		2024/2025	\$69,405.53
Meadows North Park	The park seeding and landscaping have been completed at the park A park grand opening will be planned for in late summer/fall 2024. Looking for potential dates?	5/3/21	Spring 2024	\$
Safe Route to Schools CSAH 30 Trail	The City Council recommended approval of submitting the grant application to construct a trail along the east side of CSAH 30 from 379 th St to Maple St and on Maple St from CSAH 30 to Oak St at the 12.7.21 meeting The estimated engineering City Cost is \$55,004.90. The City has been notified that the project was selected for funding in the amount of \$366,700. The City is working with Chisago County to complete the		June 30, 2025	

	improvements with the CSAH 30 reconstruct project in 2025. The engineering plans are expected to be at 90% complete at the beginning of July.			
SRTS Plan	The SRTS Plan is over 12 years old and is need of an update. Will look to apply for grant funding to update this.		2025	
Arts Grant	The City received grant funding through the ECRAC for the Summer Concerts Series with a start date of 1/15/24. NBAHS PLAZA 6/18/24 – Minnesota State Band (81) 6/25/24 – 3rd Elephant (179) CENTRAL PARK 7/9/24 – Emerson Ave Band 7/16/24 – Whitesidewalls 7/23/24 – Dweebs 7/30/24 - Sweethearts Dinner Band 8/6/24 – Night 2 Unite 8/13/24 - On Tap 8/20/24 - Next Door Down			
Pollinator Friendly City/Monarch Community	The North Branch Monarch Group received a \$25,000 grant to convert the turf at the North Branch Area Library to a pollinator plantings and to include a monarch statute and educational classes. The seeding took place in the fall of 2021 Scheduled maintenance of the site took place in early June and late August 2023. The legislature approved language allowing property owners to maintain native prairies on all properties. The city will need to amend its existing ordinances to align with this.		2021	
Tree City	The CCMG planted 8 trees in Clayton Anderson park despite the rained out Arbor Day event. City staff are working on tree ordinance and will bring it to the August meeting for review/discussion.		4/26/24	
Harder Parkway	The Commission requested looking into a speed reduction on Harder Parkway. The City Council supported reviewing this and the speed trailer will be placed there in the spring. The speed trailer was placed form June 4-11, 2024 with a total of 4,240 vehicles with the 85 th percentile speed of 24 mph.		6/30/23	
Skateboard Park	The Commission and Council approved the	5/3/21	2022	

	replacement of the surfacing at the skateboard park. Public Works has installed the new ramp surfaces and the park is getting a lot of use. 3 rd Lair has held provided a concept of a tiered quarter pipe. The PTOS Commission discussed providing up to \$4,000 in funding match for a tiered quarter pipe.			
Williams Park Community Garden	The community gardens have been tilled up for the season and are accepting applications for garden plots for 2024. They are looking of open May 4, 2024. The water is scheduled to be turned on 5/7/24			
Malmquist Property	The PTOS Commission recommended to strongly support Mr. Malmquist's proposal for his property to be entrusted to the city at the appropriate time and to care and that the city would care best for it and properly use it at the 1/9/23 meeting. City Staff is working with Mr. Malmquist on next steps. An appraisal (\$3,500 - \$5,000) would be required for DNR grant acquisitions. City staff met with the MN Trust for Public Lands to explore options to help protect the site until grant funding could be acquired.			
North Branch Beautification Association	The NBBA is continuing to work on the Vet Memorial, Flower Baskets, Banners and Memorial Benches.			
Splash Pad	The Commission and City Council have identified a splash pad as top priority improvement and has discussed Williams Park as the location for the splash pad to be tied to a community center location. The Commission discussed hosting a community input meeting on the desired amenities and type of facility the community would desire in in winter 2024. The City is conducting a facility assessment and will help guide the location for a future community center. The Commission would like to hold a joint meeting with other commissions and council through this process.			
Strategic Parks, Trails and Open Space Plan	The City Council approved the Comprehensive Plan at the Oct 23, 2018 meeting. The next steps will be to develop a strategic plan and implementation. Including a bicycle/pedestrian plan and development of a bike friendly community initiatives and to accommodate site amenities within the design i.e. benches at various locations. This is an agenda item. A facility assessment is in the process of conducted and is		Fal2024	

	estimated to be completed in mid-July 2024.			
EV Charging Station	The EV station discussion will be brought to the council for future discussion.			
Subdivision Review				
Westside Commons	The PTOS Commission recommended the acceptance of cash and to work with the developer on the construction of the extension of the trail from 386 th St to TH95. The developer has agreed to construct the trail from 386 th St to TH95 and will receive a credit for park dedication fees.	3/6/23		
Sunrise Bluff 3	The PTOS Commission recommended the acceptance of the construction of the trail from Everett Ave to Flink Ave along 392nd St and to accept the dedication of the land along the Sunrise River and to provide an easement across the west outlot to extend the access to the west of the development.	4/1/24		
Meadows North	The PTOS Commission recommended the acceptance of a combination of land and cash for park dedication for the Meadows North development. A park credit utilization area was approved and has been paid for up to 591 total units to be constructed. 236 units have been platted to date. A final plat for MN Townhomes 2 nd with 72 units has been submitted for approval.			
Meadows Ridge (LGI)	The PTOS Commission reviewed and recommended approval of the open space in the preliminary plat and recommend the acceptance of cash for units above the park credit utilization area.	9/11/23		
Chain Lake Shores	The PTOS Commission reviewed the concept plan and provided feedback of a combination of cash and land for park dedication with a more detailed review with a preliminary/final plat submittal.	9/11/23		
Welsh Farms	The PTOS Commission recommend the acceptance of cash on 4/5/21. The City Council approved the preliminary plat on April 27, 2021. The developer has requested an extension for the plat.	4/5/21		
Preserve on Spring Hill 2	The PTOS Commission recommended the acceptance of cash on 4/5/21. The developer has requested an extension for the plat.	4/5/21		
Townsedge Master Plan	The PTOS Commission to recommend an acceptance a combo of land and cash for park dedication funds with the land not to exceed 4 acres.	5/2/22		
Casselberry Outlot	The PTOS Commission requested the City Council to reserve the parcel of land located at the northeast		2027	

	corner of Lincoln Trail and Hemingway Ave as park/open space. The City Council discussed this at their November 10, 2022 meeting and noted that the parcel is being reserved as right-of-way for a future intersection improvement (2027) and that any additional space would be preserved as park/open space.			
Long-term Planning and Goals	Progress and Next Steps			
CIP 2024-2035	The Commission discussed focusing on Williams Park and to add the Malmquist Property, Luchts Trail Connection and park expansions to the CIP. The City Council will be reviewing in May/June 2023. – Additional resident support has been provided for the Luchts Crossing trail connection.			
Council Commission	The PTOS Commission appointed Lynn Wilson to serve on the planning committee			

Northwood Park	Pickleball Court, Playground Resurfacing, Walkways	DNR Grant/	2024	\$240,000
Splash Pad	Location to be determined		2024	\$300,000
Park Signage	Install uniform signage in all parks		2024	\$20,000
Central Park	Basketball Court resurfacing		2025	\$25,000
Northwood Park	Parking Lot Resurfacing		2025	\$20,000
Northwood Park	Basketball Court resurfacing		2025	\$25,000
Co Rd 30 Trail	379 th St to Maple St (East side)	<i>Final Design</i>	2025	\$500,000
Co Rd 30 Crosswalk	Pedestrian crossing near the library to Sunrise Prairie Regional Trail	<i>Final Design</i>	2025	\$600,000

Flink Ave Trail Phase II	Trail connection from existing trail to 392 nd St to NB Marketplace.	<i>Grant ?</i>	2025	\$600,000
Harder Park	Parking Lot microsurfacing		2025	\$65,000
Falcon Ave Trail	385 th – 386 th St		2025	\$55,000
RJMP	Parking Lot Microsurfacing		2025	\$20,000
Outdoor Archery Range	Location to be determined		2025	\$42,000
Malmquist Property	Acquisition and Development		2025	\$600,000
Sunrise Prairie Regional Trail	Maintenance		2026	\$6,000
Wildridge Park	Park Development – parking lot, soccer fields		2026	\$545,000
Williams Park	Park Development		2026	\$1,850,000
Clayton Anderson	Parking lot surfacing		2026	\$200,000
Harder Park Trail Connection			2026	\$1,000,000
Northwood Park Playground Equipment	Replace existing playground equipment		2026	\$100,000
Luchts Crossing	Park Development		2027	\$100,000
Wildridge Park	Basketball Court Resurfacing		2027	\$20,000
Luchts Crossing Trail Connection	Trail Connection from Luchts Crossing to Casselberry		2027	\$100,000
Northwood Park	Irrigation System		2028	\$70,000
Tower Fields	Irrigation System		2028	\$70,000
Townsedge Park	Park Development		2028	\$200,000
Harder Park Playground Equipment	Replace existing playground equipment		2028	\$100,000
North Branch Oaks Playground Equipment	Replace existing playground equipment		2028	\$100,000
Tower Fields	Parking Lot Paving		2029	\$70,000
Meadows North Park	Expansion to west		2029	\$50,000
Dog Park	Dog Park Development - Location TBD		2030	\$30,000
Roger Johnson Playground Equipment	Replace existing playground equipment		2030	\$
Roger Johnson Park	Expansion to east		2031	\$80,000

Sunrise Prairie Regional Trail	Maintenance		2032	\$6,000
Wildridge Park Playgrund Equipment	Replace existing playground equipment		2032	\$100,000
Grand Ave Trail	Pedestrian bridge across Sunrise River		2033	\$515,000



Prepared By:
Nathan Sondrol, GIS Specialist/Parks Director
Presenter: Nathan Sondrol, GIS Specialist/Parks Director
Date: 06/28/2024

Board & Commission: Parks, Trails and Open Space Commission

Subject: Commission Application - Wendy Chelberg

Background

Wendy Chelberg has submitted an application to serve on the Parks, Trails and Open Space Commission.

Requested Action

To provide a recommendation to the City Council to appoint Wendy Chelberg to the Parks, Trails and Open Space Commission.

Voting Requirements:

Voting Options Simple Majority



City of North Branch Application for Advisory Boards/Commissions

Board/Commission Applying For (please note that some boards/commissions may have special requirements for membership): ☒ Parks, Trails and Open Spaces Commission ☐ Planning Commission
☐ Economic Development Authority ☐ Water and Light Commission

Name: Wendy Chelberg email: wendychelberg@gmail.com

Address: 4670 382nd Dr

Phone: 651-503-2151 How long have you lived in North Branch? 1.5 yrs

Occupation and Employer (name and address): Retired

Education and Professional Experience: Degree in Broadcast Communications
Sales experience and Flight Attendant.

Civic, Volunteer and Community Activities: Was on Forest Lake Park board
for 9 yrs. Was president of St. Paul Stars Synchronized Swimming Club
for 8 yrs.

Previous Public Experience (Elected or Appointed): Appointed to Forest Lake Park board.

Please briefly describe the aspects of your experience that you believe qualify you for the board or commission selected and explain why you would like to serve on that board or commission (if additional space is needed, you can attach a one page supplement):

I believe I could be an asset to North Branch park board
because of my previous experience in Forest Lake.
I am familiar with park planning and would like to
see a variety of age applications in North Branch. I would
also like to help in placements of demographics.

What issues do you believe the board or commission should consider:

A person who has previous experience and cares about
the community they live in.

Date: 6-13-2024

Applicant Signature Wendy Chelberg

Please return to: City of North Branch, Attn: City Administrator, 6408 Elm Street,
PO Box 910, North Branch, MN 55056 or via email to: renaef@ci.north-branch.mn.us

651-674-8113

www.ci.northbranch.mn.us

Under Minnesota law, some of the information requested above is public information, which must be provided to anyone who requests it. Some of it is classified as private information, which is not generally available to the public. All of the information will be used by the City Council in determining whether you should be appointed to a board or commission. Therefore the information will be reviewed at a city council meeting open to the public and will be part of the official record for that meeting and available to anyone. Only the information provided will be considered and failure to provide the requested information may result in your not being considered for appointment.

RECEIVED
JUN 24 2024



Prepared By:
Nathan Sondrol, GIS Specialist/Parks Director
Presenter: Nathan Sondrol, GIS Specialist/Parks Director
Date: 06/28/2024

Board & Commission: Parks, Trails and Open Space Commission

Subject: Keller Acres

Overview / Background

Rick Keller(Developer) has submitted a preliminary plat application for a plat named Keller Acres. The proposed plat is located on the east side of Hemingway Avenue and includes the splitting and combing of 55 acres into 1 parcel. The property is located adjacent and surrounded on 3 sides by the Janet Johnson Wildlife Management Area.

Discussion/Analysis

State Statute allows cities the ability to require that a reasonable portion of the buildable land of any proposed subdivision to be dedicated to the public to address infrastructure needs created by the development; including, parks, recreational facilities, playgrounds, trails, sidewalks, wetlands and open space.

In lieu of land dedication for parks, recreational facilities, playgrounds, trails, wetlands or open space, cities may require a developer to pay cash or “park dedication fees.” Park dedication fees excuse the developer from a local land dedication for park and recreation purposes, but still allow the city to purchase and acquire new, off-site facilities to serve the recreation needs created by the subdivision.

Sec. 54-465. Conditions for contributions.

It shall be deemed to be in the public interest to require land dedication, cash contribution, or any combination thereof when the city council after review and recommendation makes one or more of the following findings of fact:

- (1) All or part of the proposed subdivision has been designated as park, playground, public open space, storm sewer holding areas or ponds on an adopted city plan;
- (2) Such contribution is necessary in order to protect adjacent land uses from potential conflicting land uses which could exist on the land subdivided;
- (3) The increased number of residents to reside or be employed within the subdivision will increase the recreational demands upon the city;

(4) The land proposed to be subdivided contains or borders upon existing unique topographical features including but not limited to ponds, lakes, streams, timber stands, water holding areas, hills, steep slopes, drainage areas, or bluffs which should be preserved to prevent foreseeable safety, pollution, or erosion hazards or to provide unique recreational and aesthetic qualities and enjoyment to the city; Such contribution is necessary to comply with or fulfill the goals, policies, and programs of the city.

2. Development Plan

The Developer is proposing to split off 10 acres from the adjacent (west) parcel and combine it with the existing 45 acre parcel to provide for and allow access to Hemingway Ave.

The site is flat, has predominately loamy fine sand and muck soils along with wetlands identified on the property. The property is also located within the open space wildlife corridor.

Based on North Branch City Code and the current fee schedule, the following options are available for park dedication for the proposed development.

Cash Option	1 Lot @ \$1,800 per lot = \$1,800
Land Option	10% of land = 5.5 acres
Cash/Land Option	Various Combinations of the above

Deadline: July 1, 2024

Requested Action & Recommendation:

The requested action is for the Commission to make a recommendation to deem the public interest to require land dedication, cash contribution, or any combination thereof for the Keller Acres development.

Voting Requirements:

State Law or City Code requires a simple majority, of those present.

Attachments:

- 1) Keller Acres Plat
- 2) Comprehensive Parks, Trails and Open Space Plan

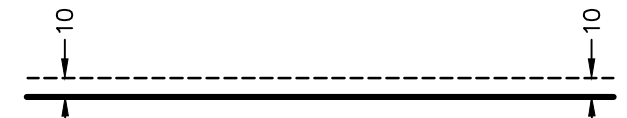
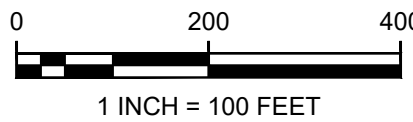
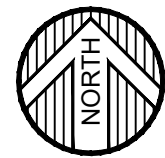
Voting Requirements:

Voting Options Simple Majority

CITY OF NORTH BRANCH
CHISAGO COUNTY, MN

PRELIMINARY PLAT OF KELLER ACRES

DRAINAGE AND UTILITY EASEMENTS SHOWN THUS:



EXISTING PROPERTY DESCRIPTION: -PID:11.00696.00 (Per Warranty Deed Doc. No. A-658578)
The Southwest Quarter of the Northwest Quarter of Section 34, Township 35, Range 21, Chisago County, Minnesota.

EXISTING PROPERTY DESCRIPTION: -PID: 11.00693.00 (Per Warranty Deed Doc. No. A-595648)
West Half of the Southwest Quarter of Northeast Quarter (W1/2 of SW1/4 of NE1/4), and Northeast Quarter of the Southeast Quarter of the Northwest Quarter (NE1/4 of SE1/4 of NW1/4) of Section Thirty-four (34), Township Thirty-five (35N.) Range Twenty-one (21), Chisago County, Minnesota.
and
The South five (5) acres of the West Half of the Southeast Quarter of the Northwest Quarter (W1/2 of SE1/4 of NW1/4),
and
the Southeast Quarter of the Southeast Quarter of the Northwest Quarter (SE1/4 of SE1/4 of NW1/4) of Section Thirty-four (34), Township Thirty-five North (35N.) Range Twenty-one West (21W.), Chisago County, Minnesota.
and
Lot 12, Block 2, Trails End Acres, Section Ten, Township Thirty four (34), Range Twenty-one. (21), Chisago County, Minnesota.

PROPOSED PLAT DESCRIPTION:
The South 330.88 feet of the Southwest Quarter of the Northwest Quarter of Section 34, Township 35, Range 21, Chisago County, Minnesota.
and
West Half of the Southwest Quarter of the Northeast Quarter, and the Northeast Quarter of the Southeast Quarter of the Northwest Quarter of Section 34, Township 35, Range, Chisago County, Minnesota.
and
the Southeast Quarter of the Southeast Quarter of the Northwest Quarter of Section 34, Township 35, Range 21, Chisago County, Minnesota.
and
The South 5 acres of the West Half of the Southeast Quarter of the Northwest Quarter.

SURVEY NOTES:

- Orientation of this bearing system is based on the Chisago County Coordinate System NAD83 (1996 adj.)
- Vertical Control: The East Quarter Corner of Sec. 9; Elev. = 897.54 NAVD 88
- PID No. 11.00696.00 - The subject property is vacant.
- Soil Borings and wetland delineation have not been required for this particular subdivision. The purpose of this subdivision is to create access from Hemingway Ave. to the easterly JMRK LLC (PID No. 11.00693.00) parcel.
- Contours shown are from MNDNR MntPO and are on NAVD88 datum.
- The westerly 10 acres is open and will not require clearing and grubbing to construct a driveway.

Existing Zoning RR - Rural Residential

Future Land Use: RR - Rural Residential

MINIMUM REQUIREMENTS:

LOT AREA 1 Acre buildable
MINIMUM WIDTH 110 Feet
MINIMUM DEPTH 300 Feet

MINIMUM BUILDING SETBACKS

FRONT YARD 40 Feet
SIDE YARD 10 Feet
REAR YARD 30 Feet

Total Area of the Subject Property = 2,397,037 SQ.FT or 55.0 Ac.
Proposed Area of Lot 1 = 2,386,114 SQ.FT. or 54.8 Ac.
Proposed Area of Roadway = 10,923 SQ.FT. or 0.2 Ac.
Gross Plat Area = 2,397,037 SQ.FT. or 55.0 Ac

DEVELOPER

RICK KELLER
651-402-3733
kellerexc@frontiernet.net

OWNER

JASON NELSON
38962 4TH AVE
NORTH BRANCH, MN 55056

OWNER

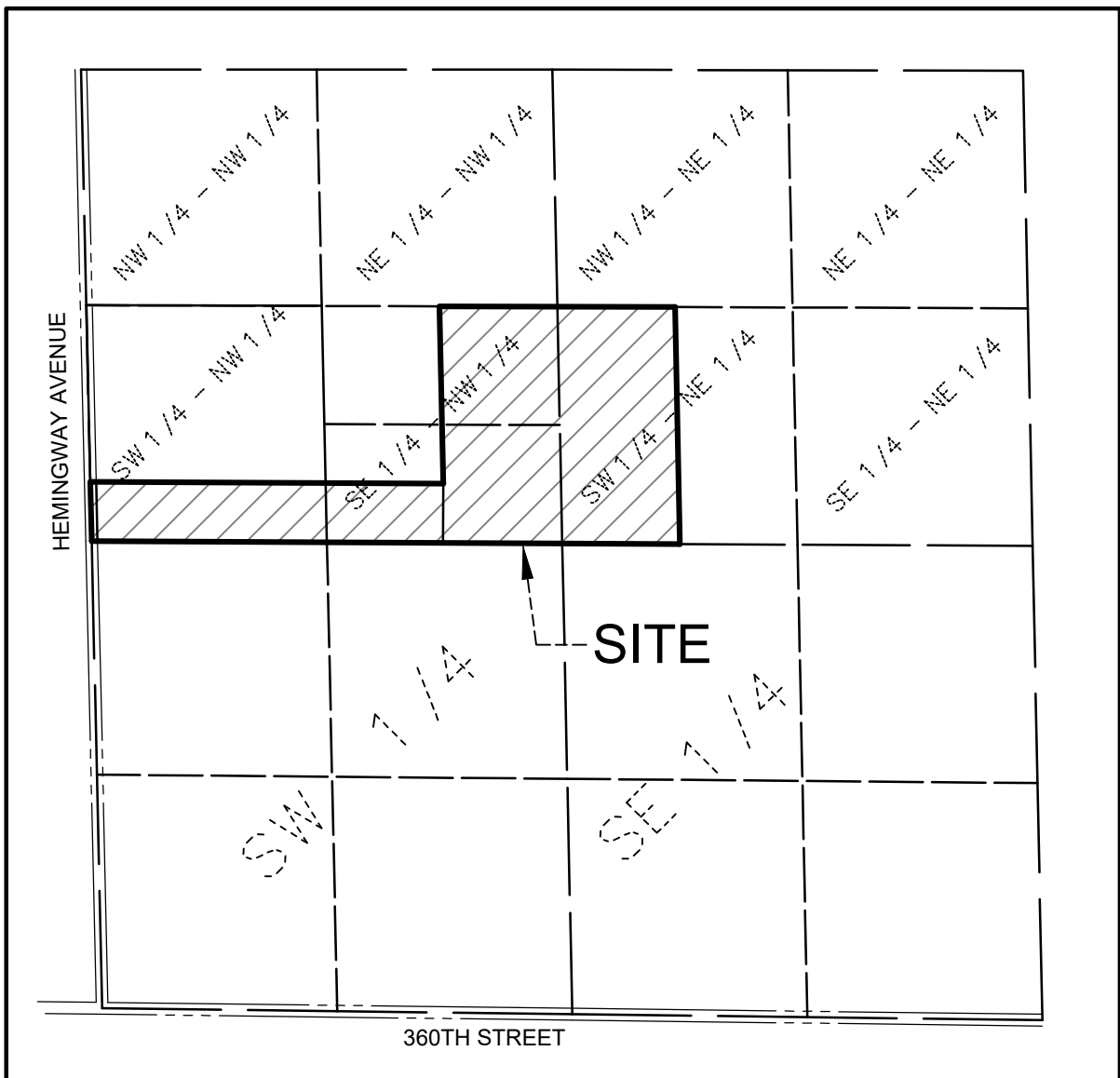
RICK KELLER
7399 341ST STREET
STACY, MN 55079

ENGINEER/LAND SURVEYOR

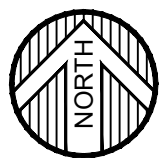
WIDSETH
Kelly Jordan
5368 266TH STREET
WYOMING, MN 55092
Phone (651) 358-2343
kelly.jordan@widseth.com

LEGEND

- DENOTES A SECTION CORNER MONUMENT
- DENOTES A FOUND 1/2" IRON PIPE MONUMENT CAP NO. 16097
- DENOTES A SET 1/2" IRON PIPE MONUMENT W/CAP NO 42648



VICINITY MAP
SEC. 34, T35, R21
CITY OF NORTH BRANCH
CHISAGO COUNTY, MINNESOTA



1 INCH = 1000 FEET

FLOODPLAIN NOTES: FLOOD INSURANCE RATE MAP (FIRM)

COMMUNITY No.	PANEL No.	SUFFIX	DATE OF FIRM INDEX	FIRM ZONE
270072	0165	D	04/17/2012	X

DATE: June 2024	DATE	AMENDMENTS	BY	PREPARED FOR: RICK KELLER
SCALE: AS SHOWN				I HEREBY CERTIFY THAT THIS SURVEY, PLAN, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.
DRAWN BY: JAS				<i>Kelly L. Jordan</i>
CHECKED BY: KLJ				Kelly L. Jordan
FILE NUMBER: 2023-10945				DATE: 06/27/2024 LIC. NO. 42648

© 2024 WIDSETH SMITH NOLTING & ASSOCIATES, INC.

WIDSETH
ARCHITECTS ■ ENGINEERS ■ SCIENTISTS ■ SURVEYORS

KNOW ALL PERSONS BY THESE PRESENTS: That Jason P. Nelson, a single person, owner and proprietors of the following described property situated in the County of Chisago, State of Minnesota, to wit:

The Southwest Quarter of the Northwest Quarter of Section 34, Township 35, Range 21, Chisago County, Minnesota.

AND

That Rick Keller, a single person, owner and proprietors of the following described property situated in the County of Chisago, State of Minnesota, to wit:

West Half of the Southwest Quarter of Northeast Quarter (W1/2 of SW1/4 of NE1/4), and Northeast Quarter of the Southeast Quarter of the Northwest Quarter (NE1/4 of SE1/4 of NW1/4) of Section Thirty-four (34), Township Thirty-five (35N.) Range Twenty-one (21), Chisago County, Minnesota.
and
The South five (5) acres of the West Half of the Southeast Quarter of the Northwest Quarter (W1/2 of SE1/4 of NW1/4), and
and
the Southeast Quarter of the Southeast Quarter of the Northwest Quarter (SE1/4 of SE1/4 of NW1/4) of Section Thirty-four (34), Township Thirty-five North (35N.) Range Twenty-one West (21W.), Chisago County, Minnesota.
and
Lot 12, Block 2, Trails End Acres, Section Ten, Township Thirty four (34), Range Twenty-one. (21), Chisago County, Minnesota.

Have caused the same to be surveyed and platted as KELLER ACRES and do hereby denote and dedicate to the public for public use forever the easements as shown on this plat for drainage and utility purposes only.

In witness whereof said Jason P. Nelson, a single person, has hereunto set their hands this ____ day of _____, 20 ____.

Jason P. Nelson

STATE OF MINNESOTA
COUNTY OF _____

This foregoing instrument was acknowledged before me this ____ day of _____, 20 ____ ,by Jason P. Nelson, a single person.

(Print Notary's Name)
Notary Public, _____
My Commission Expires on 1/31/20 ____

In witness whereof said Rick Keller, a single person, has hereunto set their hands this ____ day of _____, 20 ____.

Rick Keller

STATE OF MINNESOTA
COUNTY OF _____

This foregoing instrument was acknowledged before me this ____ day of _____, 20 ____ ,by Rick Keller, a single person.

(Print Notary's Name)
Notary Public, _____
My Commission Expires on 1/31/20 ____

I hereby certify that I have surveyed and platted or directly supervised the surveying and platting of the land described on this plat; this plat is a correct representation of the boundary survey; all mathematical data and labels are correctly designated on the plat; all monuments depicted on the plat have been or will be correctly set within one year; all water boundaries and wet land as of this date are shown and labeled; and all public ways are shown and labeled.

Kelly L. Jordan, Land Surveyor
Minnesota Licensed No. 42648

STATE OF MINNESOTA
COUNTY OF CHISAGO

This foregoing Surveyor's Certificate by Kelly L. Jordan, Minnesota License No. 42648, was acknowledged before me this ____ day of _____, 20 ____.

(Print Notary's Name)
Notary Public, _____
My Commission Expires on 1/31/20 ____

Approved by the City Council of the City of North Branch, Minnesota, this ____ day of _____, 20 ____ , and is in compliance with the provisions of Chapter 505.03, Subdivision 2, Minnesota Statutes.

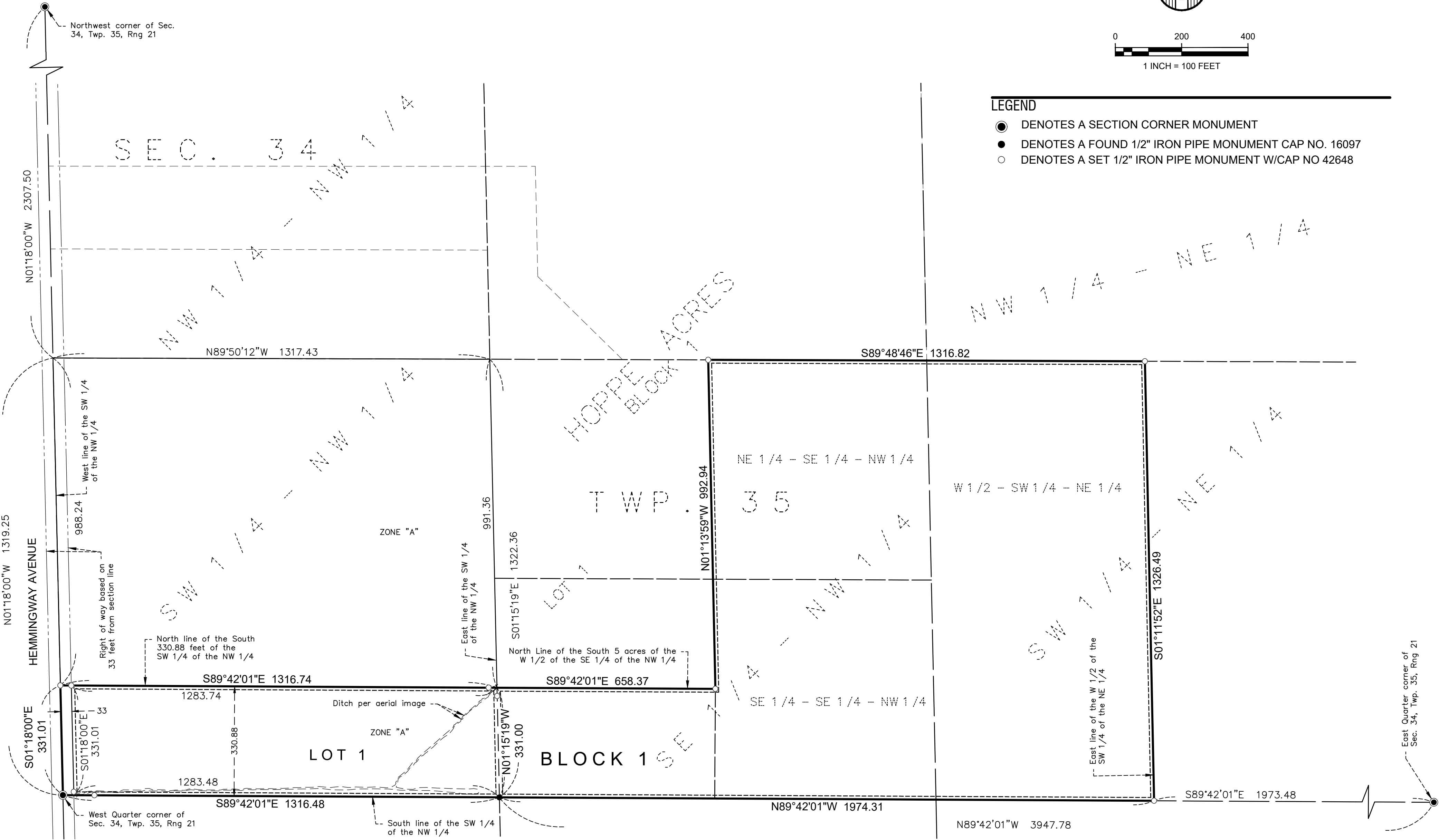
Signed _____
Mayor

Signed _____
Clerk

Pursuant to Chisago County Subdivision Ordinance Number 99-2, I hereby certify that this plat has been checked and approved as to compliance with Chapter 505.021, Minnesota Statutes this ____ day of _____, 20 ____.

Signed _____
Chisago County Surveyor

OFFICIAL PLAT OF KELLER ACRES



No delinquent taxes and transfer entered this ____ day of _____, 20 ____.

Signed _____
Chisago County Auditor

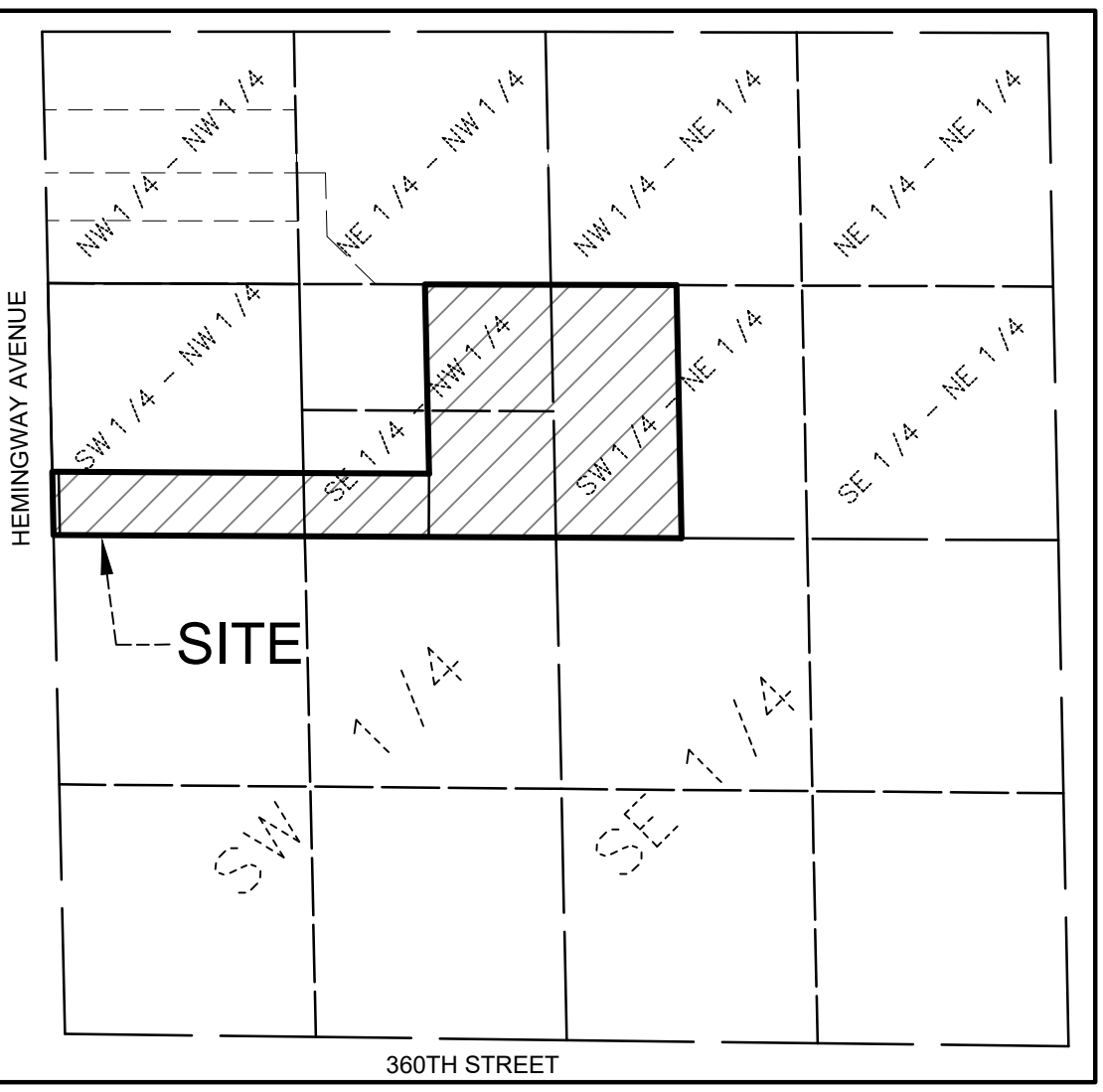
I hereby certify that the taxes for the year 20 ____ on the property described herein are paid this ____ day of _____, 20 ____.

Signed _____
Chisago County Treasurer

Document No. _____

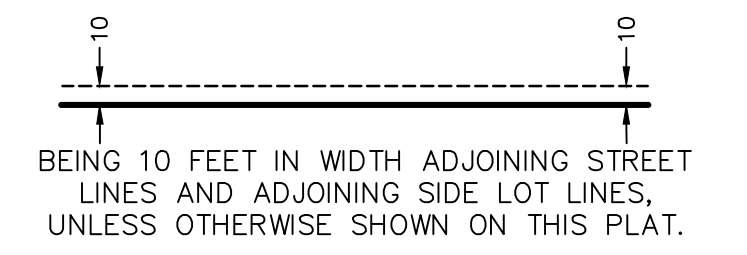
I hereby certify that this instrument was filed in the Office of the County Recorder for record on this ____ day of _____, 20 ____ , at ____ o'clock ____ .M., and was duly recorded in the Chisago County Records.

Signed _____
Chisago County Recorder



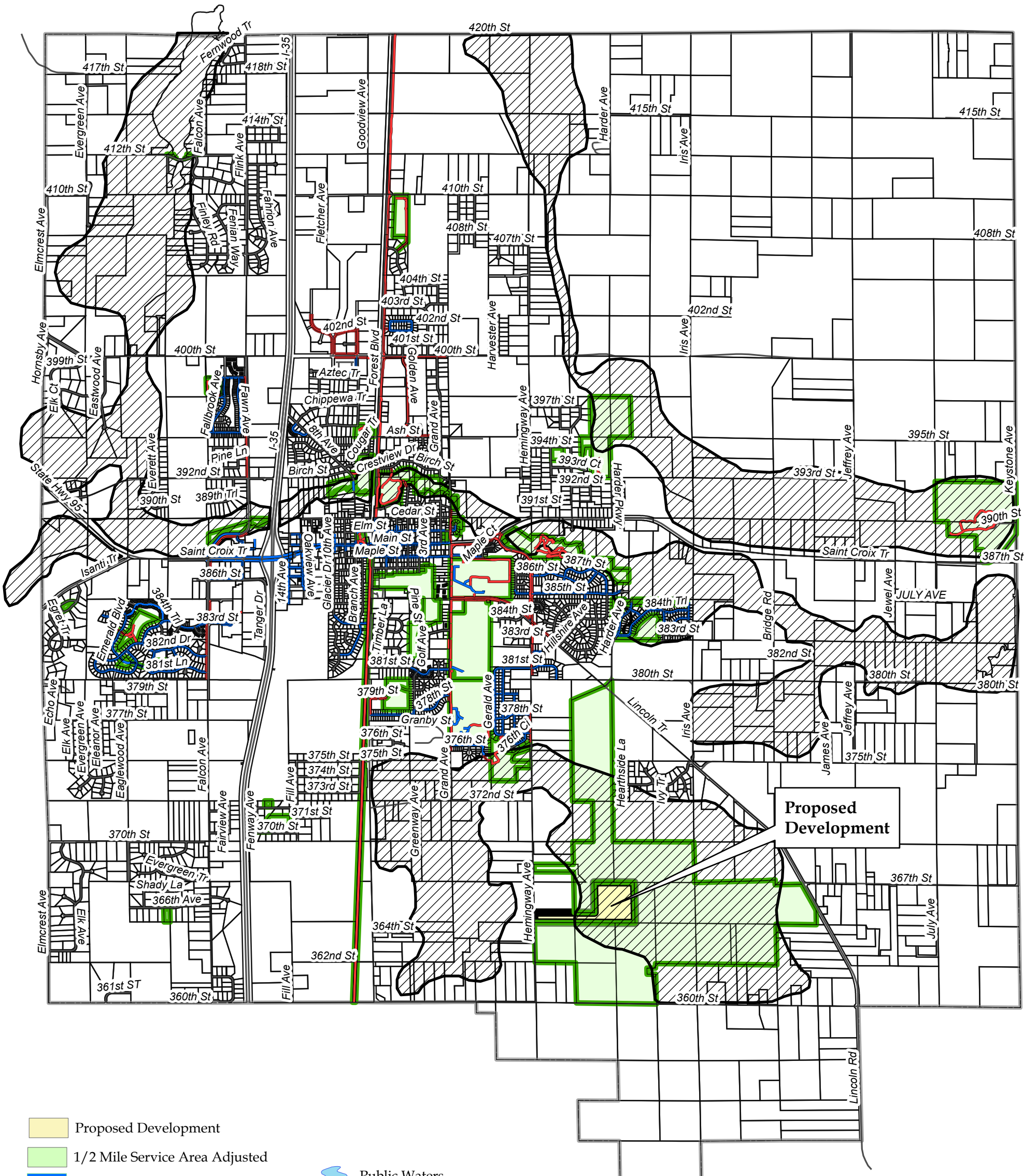
VICINITY MAP
SEC. 34, T35, R21
CITY OF NORTH BRANCH
CHISAGO COUNTY, MINNESOTA
1 INCH = 1000 FEET

DRAINAGE AND UTILITY EASEMENTS SHOWN THUS:



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- Proposed Development
- 1/2 Mile Service Area Adjusted
- Community Playfield
- Natural Resource Area
- Neighborhood Park
- Regional
- Public Waters
- Streams/Ditches
- Conceptual Open Space/Wildlife Corridor
- Existing Sidewalks
- Existing Trails



PTOS Comp Plan Keller Acres



Disclaimer:
The data on this map is provided "as is"
and does not represent a survey. NO liability is
assumed to accuracy of the data
delineated hereon.



Prepared By:
Nathan Sondrol, GIS Specialist/Parks Director
Presenter: Nathan Sondrol, GIS Specialist/Parks Director
Date: 06/28/2024

Board & Commission: Parks, Trails and Open Space Commission

Subject: Members Credit Union Plat

Overview / Background

Members Cooperative Credit Union(Developer) has submitted a preliminary/final plat application for a plat named Members Credit Union Plat. The proposed plat is located on the south side of Main Street and adjacent to 9th Avenue and Maple Street. The plat includes the replatting of 3 existing lots into two (2). There is an existing commercial building to the north along Main Street that would combined with the lot to the south to provide access to Maple Street. A vacant lot would be created for the 2nd lot.

Discussion/Analysis

State Statute allows cities the ability to require that a reasonable portion of the buildable land of any proposed subdivision to be dedicated to the public to address infrastructure needs created by the development; including, parks, recreational facilities, playgrounds, trails, sidewalks, wetlands and open space.

In lieu of land dedication for parks, recreational facilities, playgrounds, trails, wetlands or open space, cities may require a developer to pay cash or “park dedication fees.” Park dedication fees excuse the developer from a local land dedication for park and recreation purposes, but still allow the city to purchase and acquire new, off-site facilities to serve the recreation needs created by the subdivision.

Sec. 54-465. Conditions for contributions.

It shall be deemed to be in the public interest to require land dedication, cash contribution, or any combination thereof when the city council after review and recommendation makes one or more of the following findings of fact:

- (1) All or part of the proposed subdivision has been designated as park, playground, public open space, storm sewer holding areas or ponds on an adopted city plan;
- (2) Such contribution is necessary in order to protect adjacent land uses from potential conflicting land uses which could exist on the land subdivided;

- (3) The increased number of residents to reside or be employed within the subdivision will increase the recreational demands upon the city;
- (4) The land proposed to be subdivided contains or borders upon existing unique topographical features including but not limited to ponds, lakes, streams, timber stands, water holding areas, hills, steep slopes, drainage areas, or bluffs which should be preserved to prevent foreseeable safety, pollution, or erosion hazards or to provide unique recreational and aesthetic qualities and enjoyment to the city; Such contribution is necessary to comply with or fulfill the goals, policies, and programs of the city.

2. Development Plan

The Developer is proposing to combine it with the existing 45 acre parcel to provide for and allow access to Hemingway Ave.

The site is flat, has predominately loamy fine sand with no wetlands identified on the property. There is an existing sidewalk located along Main St and along the north half of the block along 9th Ave.

Based on North Branch City Code and the current fee schedule, the following options are available for park dedication for the proposed development.

Cash Option	1 Lot @ \$1,800 per lot = \$1,800 (1 existing)
Land Option	10% of land = 0.1 acres
Cash/Land Option	Various Combinations of the above

Deadline: July 1, 2024

Requested Action & Recommendation:

The requested action is for the Commission to make a recommendation to deem the public interest to require land dedication, cash contribution, or any combination thereof for the Members Credit Union development.

Voting Requirements:

State Law or City Code requires a simple majority, of those present.

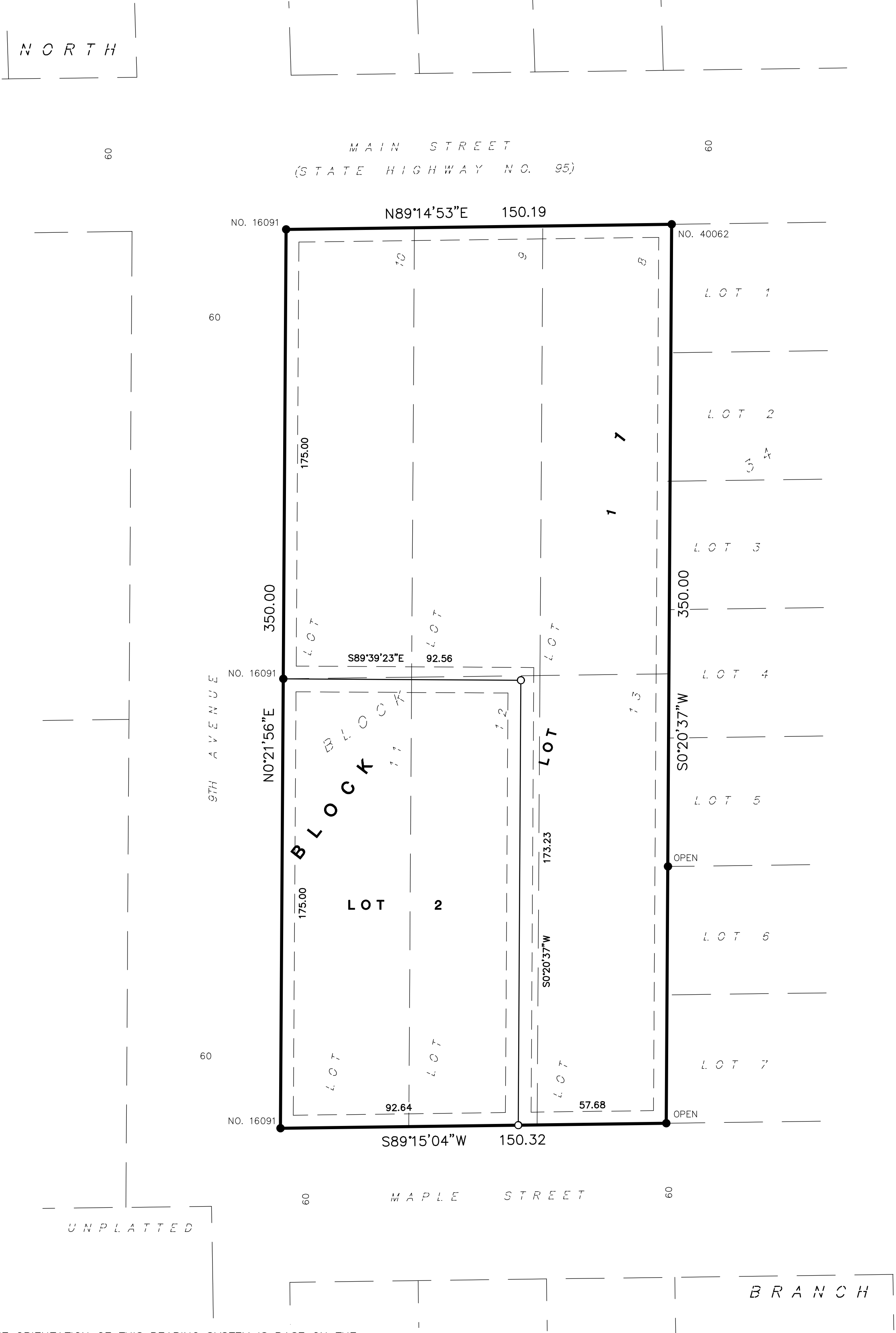
Attachments:

- 1) Members Credit Union Plat
- 2) Comprehensive Parks, Trails and Open Space Plan

Voting Requirements:

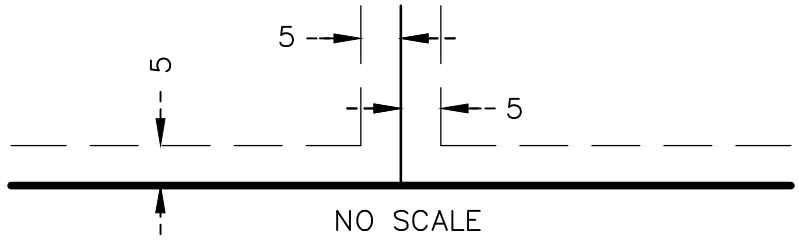
Voting Options Simple Majority

MEMBERS COOPERATIVE CREDIT UNION



THE ORIENTATION OF THIS BEARING SYSTEM IS BASE ON THE CHISAGO COUNTY COORDINATE SYSTEM NAD83 (2011 ADJUSTMENT)

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



BEING 10 FEET IN WIDTH AND ADJOINING RIGHT-OF-WAY LINES AND BEING 10 FEET IN WIDTH AND ADJOINING LOT LINES UNLESS OTHERWISE SHOWN ON THIS PLAT.

- O DENOTES 1/2 INCH BY 14 INCH IRON PIPE MONUMENT SET AND MARKED BY LICENSE NO. 45774
- DENOTES FOUND 1/2 INCH BY 14 INCH CAPPED IRON PIPE MONUMENT AS DESCRIBED

KNOW ALL PERSONS BY THESE PRESENTS: That Members Cooperative Credit Union, a XXXXXXXXXX XXXXXXXXX company, owner of the following described property:

Lots 8, 9, 10, 11, 12 and Lot 13, Block 34, NORTH BRANCH, Chisago County, Minnesota.

Have caused the same to be surveyed and platted as MEMBERS COOPERATIVE CREDIT UNION and do hereby dedicate to the public for public use the easements for drainage and utility purposes as created by this plat.

In witness whereof said Members Cooperative Credit Union, a XXXXXXXXXX XXXXXXXXX company, has caused the presents to be signed by its proper officer this _____ day of _____, 2024.

Signed: Members Cooperative Credit Union, XXX

_____, its _____

STATE OF _____
COUNTY OF _____
This instrument was acknowledged before me this _____ day of _____, 2024, by _____ the _____ of Members Cooperative Credit Union, a XXXXXXXXXX XXXXXXXXX company, on behalf of the company.

Signature _____

Printed _____

Notary Public, _____ County, _____
My Commission Expires: _____

SURVEYORS CERTIFICATE

I, Nicholas Hillmer, do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 2024.

Nicholas Hillmer, Licensed Land Surveyor
Minnesota License No. 45774

STATE OF MINNESOTA
COUNTY OF _____
This instrument was acknowledged before me this _____ day of _____, 2024, by Nicholas Hillmer.

(Notary Signature)

(Notary Printed Name)

Notary Public, _____ County, Minnesota.

My Commission Expires _____

CITY COUNCIL, CITY OF NORTH BRANCH, MINNESOTA
This plat of MEMBERS COOPERATIVE CREDIT UNION was approved by the City Council of the City of North Branch, Minnesota this _____ day of _____, 2024.
and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

CITY COUNCIL, CITY OF NORTH BRANCH, MINNESOTA

by: _____, Mayor by: _____, Clerk

SURVEY DIVISION, Chisago County, Minnesota
Pursuant to Chisago County Subdivision Ordinance Number 99-2, i hereby certify that this plat has been checked and approved as to compliance with Chapter 505, Minnesota Statutes this _____ day of _____, 2024.

Chisago County Surveyor

COUNTY ENGINEER, Chisago County, Minnesota

This plat was recommended for approval this _____ day of _____, 2024.

Chisago County Engineer

COUNTY ATTORNEY, Chisago County, Minnesota

This plat was approved as to form and execution this _____ day of _____, 2024.

Chisago County Attorney

COUNTY AUDITOR, Chisago County, Minnesota

No delinquent taxes and transfer entered this _____ day of _____, 2024.

Chisago County Auditor

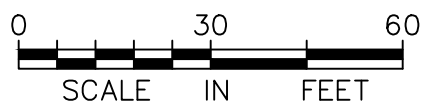
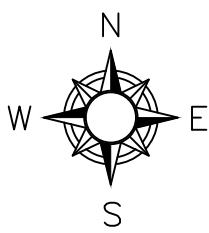
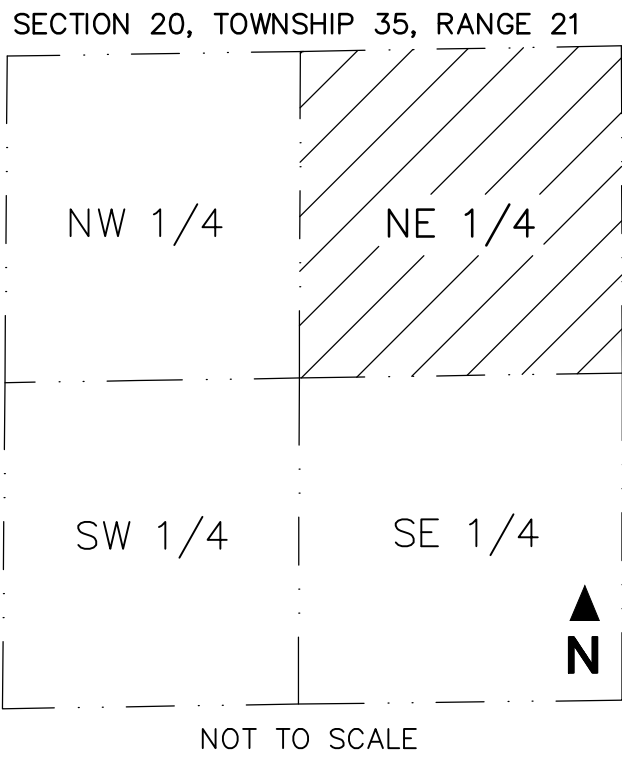
COUNTY TREASURER, Chisago County, Minnesota

I hereby certify that the taxes for the year _____ on the property described herein are paid this _____ day of _____, 2024.

Chisago County Treasurer

COUNTY RECORDER, Chisago County, Minnesota

Document No. _____



ANDERSON
ENGINEERING • ARCHITECTURE • LAND SURVEYING
ENVIRONMENTAL SERVICES • LANDSCAPE ARCHITECTURE

1. WHERE NOTED AND DASHED IN REMOVE EXISTING WALLS, DOORS, FRAMES, CEILING AND FINISH MATERIALS ONLY AS REQUIRED. CUT AND PATCH TO MATCH EXISTING
2. DEMOLITION LOWER LEVEL FLOOR PLAN. IS FOR CONTRACTORS REFERENCE ONLY. THERE IS NO WORK IN THE LOWER LEVEL. THE EXISTING MECHANICAL SYSTEM IS TO REMAIN AND PROTECT IN PLACE.
3. REMOVE EXISTING OUTLETS, GRILLES, SWITCHES, ETC.
4. STRIP EXISTING WALL FINISHES, COVERINGS, AND VINYL WALL COVERINGS. PREP ALL WALLS TO ACCEPT NEW FINISHES. APPLY SKIN COATING AS REQD FOR LEVEL 5 FINISH, TYP.
5. WHERE EXISTING OPENING ARE REMOVED IN INTERIOR WALL, INFILL OPENING WITH 5/8" GYP. BD. ON EACH SIDE OF STEEL STUD FRAMING TO MATCH EXISTING WALL CONSTRUCTION. FIELD VERIFY.
6. G. TO FIELD VERIFY ALL ELECTRICAL OUTLET LOCATIONS BEFORE DEMOLITION AND REUSE OUTLETS WHERE POSSIBLE

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6. G.C. TO FIELD VERIFY ALL ELECTRICAL OUTLET LOCATIONS BEFORE DEMOLITION AND REUSE OUTLETS WHERE POSSIBLE
7. BROOM CLEAN ALL AREAS AFFECTED BY DEMOLITION AND CONSTRUCTION BEFORE LEAVING JOB SITE EACH DAY. CLEAN ALL WINDY GLASS OF DUST AND DEBRIS BEFORE JOB IS COMPLETE. TYPICAL.
8. REMOVE AND REPLACE ANY DAMAGE GYPSUM BOARD ON EXTERIOR WALLS. PATCH TO MATCH RIGID INSULATION AND VAPOR BARRIER AS REQD. FIELD VRY ALL LOCATIONS.
9. WHERE NEW WALLS ARE TO BE INSTALLED. PREP. WALLS TO RECEIVE LEVEL #5 FINISH, AND TO RECEIVE PAINT FINISH.
10. EXISTING ROOF TO REMAIN - PATCH AND REPAIR AS NEEDED.
11. KEEP EXISTING RESTROOM FIXTURES
12. NO WORK IN STAIRWELL OR BASEMENT
13. PREP STORAGE 106 FOR NEW PLUMBING AND CASEWORK
14. MEP SYSTEMS ARE DESIGN-BUILD BY CONTRACTOR
15. ALL CASEWORK AND FURNITURE REMOVAL BY OWNER
16. ALL EXISTING WINDOW COVERINGS TO BE REMOVED AND REPLACED.

- (2) REMOVE EXISTING, ELEC CONNECTIONS AND MISC. ITEMS, PREPARE WALLS FOR NEW FINISH AS REQUIRED
- (3) EXISTING FURNITURE, TO BE REMOVED, CLEANED, AND REFURBISHED BY OWNER (N.I.C.)
- (4) REMOVE EXISTING FINANCE EQUIPMENT, PRESERVE EXISTING MALL, AND PERFAPE EXTERIOR SIDING FOR INFILL
- (5) REMOVE EXISTING OFFICE CUBICAL SYSTEM - BY OWNER (N.I.C.)
- (6) REMOVE EXISTING TILE FLOORING AND BASE, GRAPE FLOORING CLEAN, PATCH AND REPAIR ANY CRACKS OR UNEVEN PORTIONS, PREP FOR NEW FLOORING, PATCH AND REPAIR ANY DAMAGE TO REMAINING WALLS
- (7) REMOVE EXISTING GLAZING AND SPANDREL GLAZING ONLY, WINDOW FRAME TO REMAIN. PREPARE WINDOW FOR NEW EXTERIOR GLAZING.
- (8) REMOVE EXISTING FLOORING AND MALL BASE, PATCH AND REPAIR AS REQUIRED, PREPARE FOR INSTALLATION OF NEW
- (9) REMOVE AND RELOCATE EXISTING FIRE EXTINGUISHER, SALVAGE AND TURN OVER TO OWNER FOR RE-USE, VFY
- (10) REMOVE PORTION OF EXISTING CONCRETE CURB AS INDICATED. PREPARE SURFACE FOR NEW
- (11) REMOVE EXISTING DOOR, FRAME, LITE, AND HARDWARE COMPLETE
- (12) REMOVE EXISTING FURNITURE, TYPICAL - BY OWNER (N.I.C.)
- (13) REMOVE EXISTING PNEUMATIC TUBES
- (14) REMOVE EXISTING RECEPTION DESK - BY OWNER (N.I.C.)
- (15) REMOVE EXISTING ATM, S.G. TO COORDINATE THE REMOVAL OF POWER WITH DESIGN-BUILD ELEC.
- (16) EXISTING DOOR AND FRAME TO REMAIN, REMOVE EXISTING LOCKSET AND DOORHARDWEAR, CLEAN DOOR AND FRAME, PREPARE FOR INSTALLATION OF NEW LOCKSET
- (17) REMOVE AND SALVAGE BULLETIN BOARD. RETURN TO OWNER FOR REINSTALLATION
- (18) REMOVE PORTION OF EXISTING MALL FOR RELOCATED OFFICE FRONT. PATCH AS REQUIRED
- (19) EXISTING CANOPY, TO REMAIN AND PROTECT IN PLACE, TYPICAL.
- (20) REMOVE EXISTING COUNTERTOP
- (21) REMOVE EXISTING FINANCIAL EQUIPMENT, SALVAGE FOR REINSTALLATION - BY OWNER (N.I.C.)
- (22) SALVAGE EXISTING WINDOW COVERINGS AND ROLLER SHADES AND REINSTALL
- (23) REMOVE CABINET, SALVAGE AND RETURN TO OWNER.
- (24) REMOVE EXISTING WINDOW AND FRAME AND PORTION OF MALL BELOW

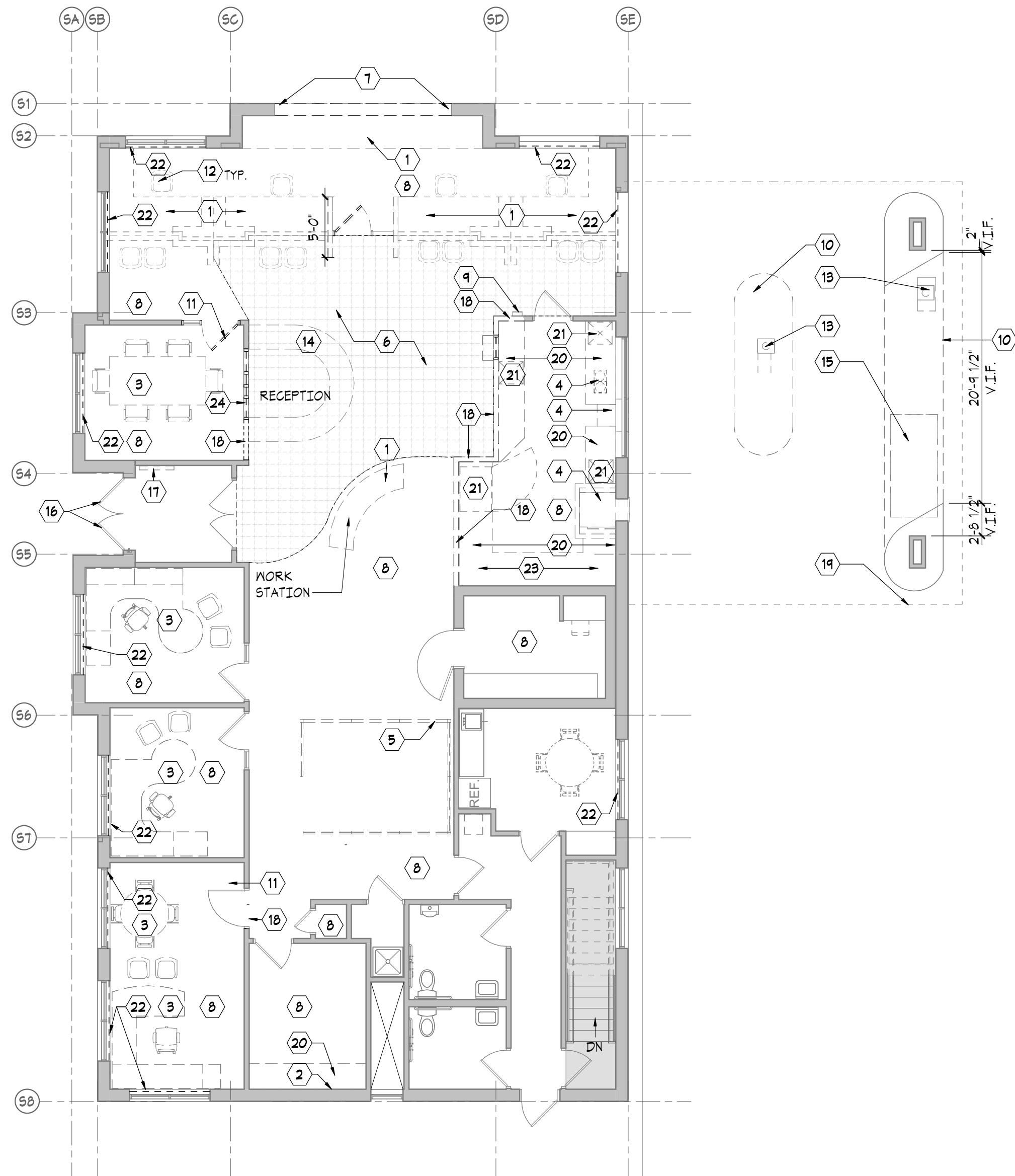
- (2) REMOVE EXISTING, ELEC CONNECTIONS AND MISC. ITEMS, PREPARE WALLS FOR NEW FINISH AS REQUIRED
- (3) EXISTING FURNITURE, TO BE REMOVED, CLEANED, AND REFURBISHED BY OWNER (N.I.C.)
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- (23) REMOVE CABINET, SALVAGE AND RETURN TO OWNER.
- (24) REMOVE EXISTING WINDOW AND FRAME AND PORTION OF MALL BELOW

EXISTING WALL TO REMAIN

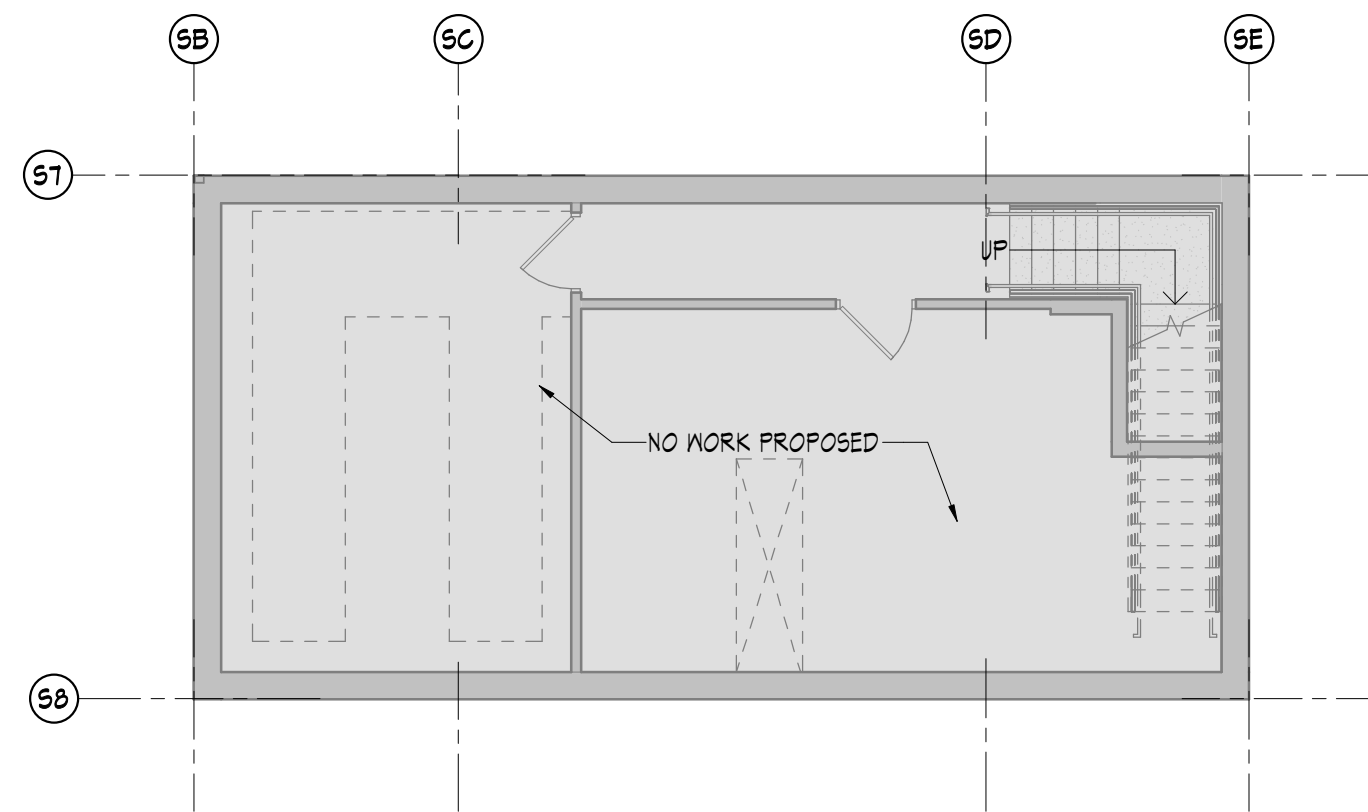
EXISTING WALL TO BE REMOVED

EXISTING FLOOR TILE TO BE REMOVED

AREA OF NO WORK



1 MAIN LEVEL DEMOLITION PLAN
D1.1 1/8" = 1'-0"



LOWER LEVEL DEMOLITION PLAN
1/8" = 1'-0"



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38807 9TH AVE,
NORTH BRANCH, MN

ISSUED SET SITE SUBMITTAL 6/5/2024

REVISIONS

DATE NC

DEMOLITION PLANS

Drawn By: SJC

Checked By: KPR

D1.1

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GENERAL NOTES:

- CONTACT ARCHITECT IMMEDIATELY IF CONFLICTS ARISE W/ INSTALLATION OF ACCESSORIES & EQUIPMENT. NO CHANGES ACCEPTABLE UNLESS SHOWN ON PLAN OR APPROVED BY ARCHITECT.
- MOUNT FIRE EXTINGUISHER CABINETS @ 5'-0" A.F.F. TO TOP OF CABINET. FINAL LOCATIONS TO BE VERIFIED BY LOCAL FIRE CHIEF.
- FRAMING CONTRACTOR TO PROVIDE ALL NECESSARY BLOCKING IN WALLS FOR WALL-HUNG ITEMS (CABINETS, SHELVING, COUNTERTOPS, ... etc.)
- ALL SToop SLABS AND APRONS TO BE POURED WITH SIDEWALK TO MATCH FINISH, TOOLING, & JOINTS
- ACT CEILING TO BE CENTERED IN EACH TOILET ROOM.
- ALL MECHANICAL, ELECTRICAL AND PLUMBING BY DESIGN BUILD CONTRACTOR.
- ALL GYPSUM BOARD SHALL BE TAPED, SANDED AND READY FOR PAINT LEVEL 5 FINISH.
- ALL ROOMS WITH-IN SCOPE OF WORK SHALL BE PAINTED, SEE ROOM FINISH SCHEDULE FOR MORE INFORMATION.
- INTERIOR PARTITIONS SHALL BE 3-5/8" STL. STUDS @ 16" O.C. W/ 5/8" GYP. BD. ON EA. SIDE EXTENDED 4" ABOVE CEILING UNLESS NOTED OTHERWISE.
- CARPET, CARPET BASE, CERAMIC TILE, RESILIENT FLOORING, VINYL BASE, GRANITE, AND VINYL WALL COVERING ARE TO BE COORDINATED WITH GENERAL CONTRACTOR INTERIOR DESIGNER & RESPECTIVE SUBCONTRACTORS FOR SCHEDULING.
- INSTALL NEW WINDOW COVERINGS OVER ALL WINDOWS, CONTRACTOR COORDINATE WORK WITH OWNERS VENDOR.

MAIN LEVEL ROOM FINISH SCHEDULE						
NUMB ER	NAME	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH	NOTES
100	VEST.	CPT-1	VB-1	P1	ACT-1	NEW DROP
101	LOBBY	T-1	VB-1	PT-1	VB-1	
102	TRANSACTION	T-1	TB-1	PT-1/PT-2	GYP BD	
103	CNR	CPT-2	VB-1	P-1	ACT-1	
104	VIDEO TABLE	CPT-1	VB-1	PT-1	GYP BD	
105	WAITING	CPT-1	VB-1	PT-1	GYP BD	
106	BRANCH MANAGER	CPT-2	VB-1	P1	ACT-1	NEW ROOM
108	VAULT	CPT-2	VB-1	P-1	ACT-1	
109	BREAK	T4	VB-1	P-1	ACT-1	
110	PASSAGE	-	-	PT-1	ACT-1	
111	STAIRS	-	-	-	-	
112	MEN	T4	TB-1	T4 / T5 / P2	P4	
113	WOMEN	T4	TB-1	T4 / T5 / P2	P4	
114	JAN	-	-	-	-	
115	CLT	-	-	-	-	
116	MULTI-PURPOSE ROOM	T4	VB-1	P1	ACT-1	
117	FLEX/CONF	CPT-2	VB-1	P1	ACT-1	
118	PASSAGE	CPT-1	VB-1	PT-1	ACT-1	
119	PASSAGE	CPT-1	VB-1	PT-1	ACT-1	
120	VIDEO TECH	CPT-2	VB-1	P1	ACT-1	NEW ROOM
121	MORTAGE	CPT-2	VB-1	P1	ACT-1	
122	OFFICE	CPT-2	VB-1	P1	ACT-1	

MAIN LEVEL DOOR SCHEDULE						
DOOR#	DOOR SIZE	DOOR MATL TYPE	FRAME MATL TYPE	RATE	HARDWARE GROUP	NOTES
100A	3'-0"xT-10"x1 3/4"	EX	EX			2
103	3'-0"xT-0"x1 3/4"	EX	EX			1.
106	3'-0"xT-0"x1 3/4"	WD	WD			
107	3'-0"xT-0"x1 3/4"	WD	WD			
117	3'-0"xT-0"x1 3/4"	WD	WD			

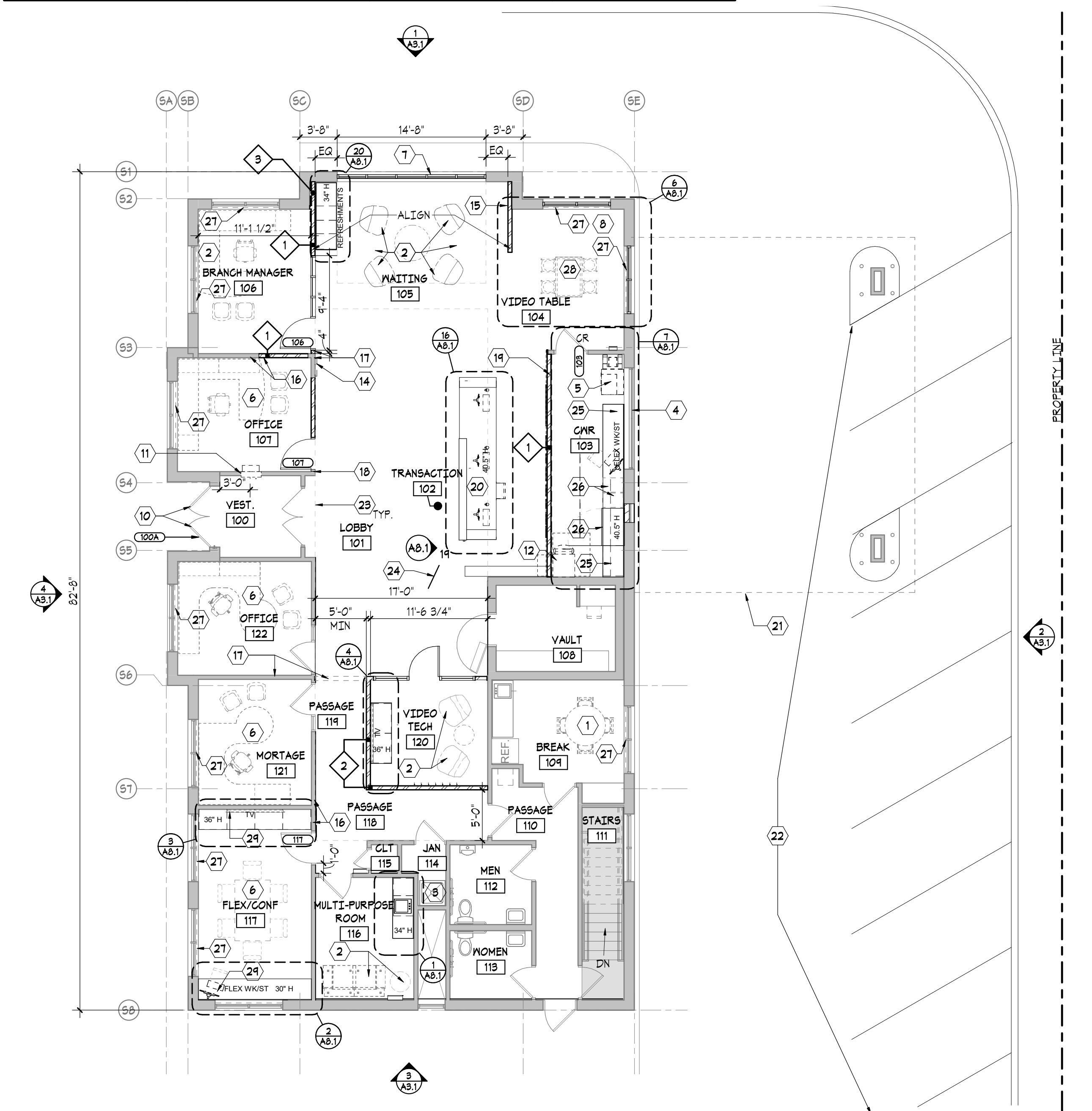
* HARDWARE SUBMITTAL TO PROVIDE HARDWARE GROUPS BY CONTRACTOR/SUPPLIERS

- ELECTRIC STRIKE (BY G.C.) & CARD READER/FOB (DEVICE BY OTHER)
- REPLACE DOOR HARDWARE AND LOCKSET

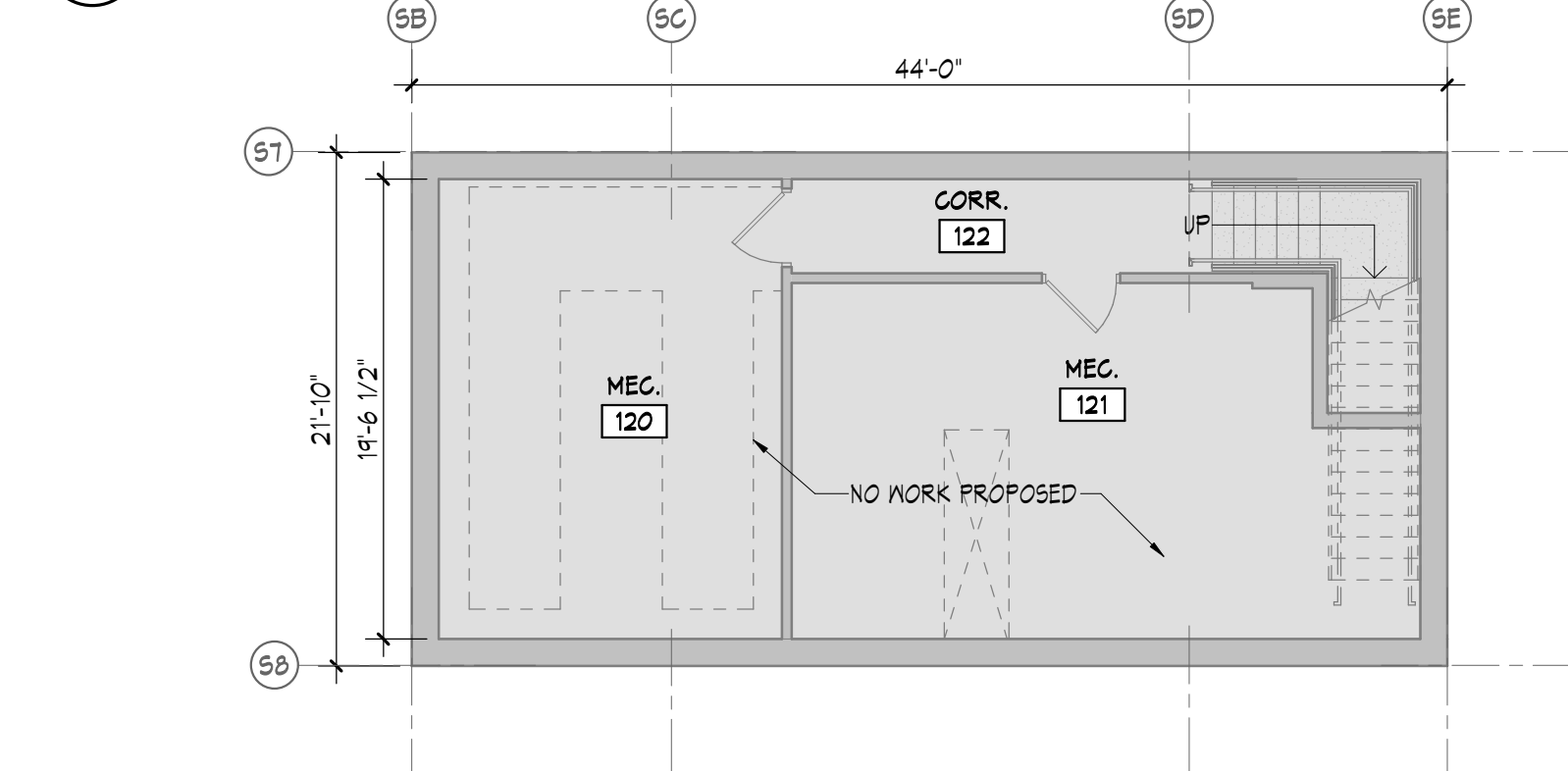
KEYED PLAN NOTES

- EXISTING FURNITURE - (N.I.C)
- FURNITURE BY OWNER, CONTRACTOR TO INSTALL, COORDINATE POWER/DATA AS REQUIRED - COORDINATE W/ DESIGN-BUILD ELEC
- EXISTING MOP SINK, TO REMAIN IN PLACE
- NEW VINYL WINDOW GRAPHIC BY SIGNAGE VENDOR. SEE ELEVATIONS.
- PRINTER/COPY BY OWNER, G.C. TO COORDINATE POWER REQUIREMENTS, COORD W/ DESIGN-BUILD ELEC.
- REINSTALL REFURBISHED OFFICE DESK TO ORIGINAL OFFICE LOCATION, G.C. TO COORDINATE POWER/DATA - COORD W/ DESIGN-BUILD ELEC.
- NEW VINYL WINDOW GRAPHIC BY SIGNAGE VENDOR. SEE ELEVATIONS. G.C. TO INSTALL NEW TINTED GLAZING
- INSTALL REFURBISHED TV TABLE (BY OWNER), CONTRACTOR TO COORDINATE POWER AND DATA AS REQUIRED
- NOT USED
- INSTALL NEW DOOR HARDWARE AND LOCKSET
- NEW LETTER DROP (BY OWNER'S VENDOR)
- COIN COUNTER, COORDINATE LOCATION WITH OWNER (BY OWNER'S VENDOR)
- NOT USED
- REGULATORY SIGNAGE BY OWNER
- MONITOR FOR DIGITAL SIGNAGE
- PATCH AND REPAIR TO MATCH EXISTING WALL
- ALIGN NEW WALL TO EXISTING WALL
- HOLD DOOR TO FRAMING
- FEATURE WALL W/ LARGE SIGNAGE. G.C. TO COORDINATE WITH SIGNAGE VENDOR
- TRANSACTION POD, G.C. TO COORDINATE POWER AND DATA AS REQUIRED
- EXISTING CANOPY, TO REMAIN AND PROTECT IN PLACE, TYPICAL.
- EMPLOYEE ONLY PARKING
- LINE INDICATES EXTENT OF VAULTED CEILING ABOVE
- FREESTANDING DIGITAL MARKETING BOARD. G.C. TO COORDINATE POWER AND DATA
- CONTRACTOR TO REINSTALL EXISTING CABINET, COORDINATE WITH OWNER
- CONTRACTOR TO REINSTALL EXISTING FINANCIAL EQUIPMENT
- CONTRACTOR TO INSTALL WINDOW COVERINGS
- TOUCH SCREEN TV TABLE BY OWNER, CONTRACTOR TO COORDINATE POWER AND DATA
- CONTRACTOR TO PROVIDE POWER AND DATA

WALL TYPES			



1 MAIN LEVEL FLOOR PLAN
1/8" = 1'-0"



2 LOWER LEVEL FLOOR PLAN
1/8" = 1'-0"



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REMODEL

38807 9TH AVE,
NORTH BRANCH, MN

ISSUED SET SITE SUBMITTAL 6/5/2024
REVISIONS

DATE	NO

FLOOR PLANS

Drawn By: SJO Checked By: KPP

A2.1

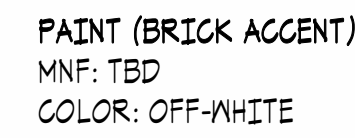
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1. REFINISH ALL EIFS SURFACES
2. REPLACE ALL SOFFITS, EAVES, ROOF GUTTERS, FASCIA, DOWNSPOUTS, AND ASSOCIATED ROOF SOFFIT COMPONENTS

EXISTING MATERIALS

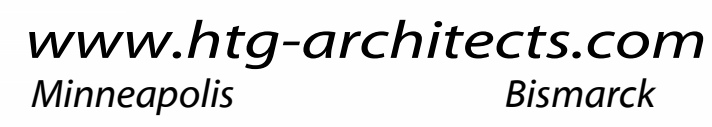
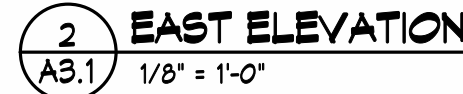


PAINT (EIFS SIDING ACCENT)
MNF: TBD
COLOR: CHARCOAL GRAY



METAL
MNF: TBD
COLOR: CHARCOAL GRAY
LOCATION: ALL NEW SOFFITS, EAVES, ROOF GUTTERS,
FASCIA, AND DOWNSPOUTS,

- (A) EXISTING BRICK SIDING
TO REMAIN AND PROTECT IN PLACE
- (B) SELECTIVELY PAINT EXISTING BRICK (OFF WHITE)
- (C) PAINT EXISTING EIFS (CHARCOAL GRAY)
- (D) EXISTING STONE SIDING
TO REMAIN AND PROTECT IN PLACE
- (E) SIGNAGE - BY OWNER
VERIFY LOCATION WITH OWNER
- (F) NEW SOFFIT, EAVES, ROOF GUTTERS, FASCIA, DOWNSPOUT
- (G) PAINT EXISTING EIFS ABOVE WINDOWS - ORANGE
- (H) EXISTING ASPHALT SHINGLE ROOF
TO REMAIN AND PROTECT IN PLACE
- (J) NEW WALL MOUNTED LIGHTING,
MATCH EXISTING MOUNTING HEIGHTS
COORDINATE WITH ELEC DESIGN BUILD
- (K) VINYL WINDOW GRAPHIC BY OWNER
- (L) PAINT EXISTING LOUVERS - CHARCOAL GRAY
- (M) PRIVACY FILM



PROJECT

REMODEL

ISSUED SET	SITE SUBMITTAL	6/5/2024
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REVISIONS

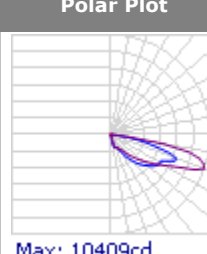
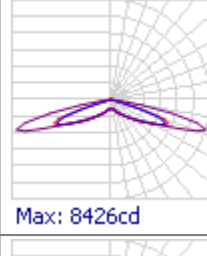
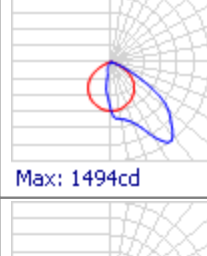
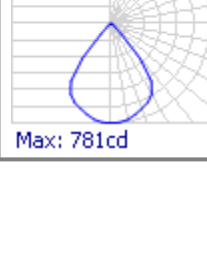
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EXTERIOR ELEVATIONS

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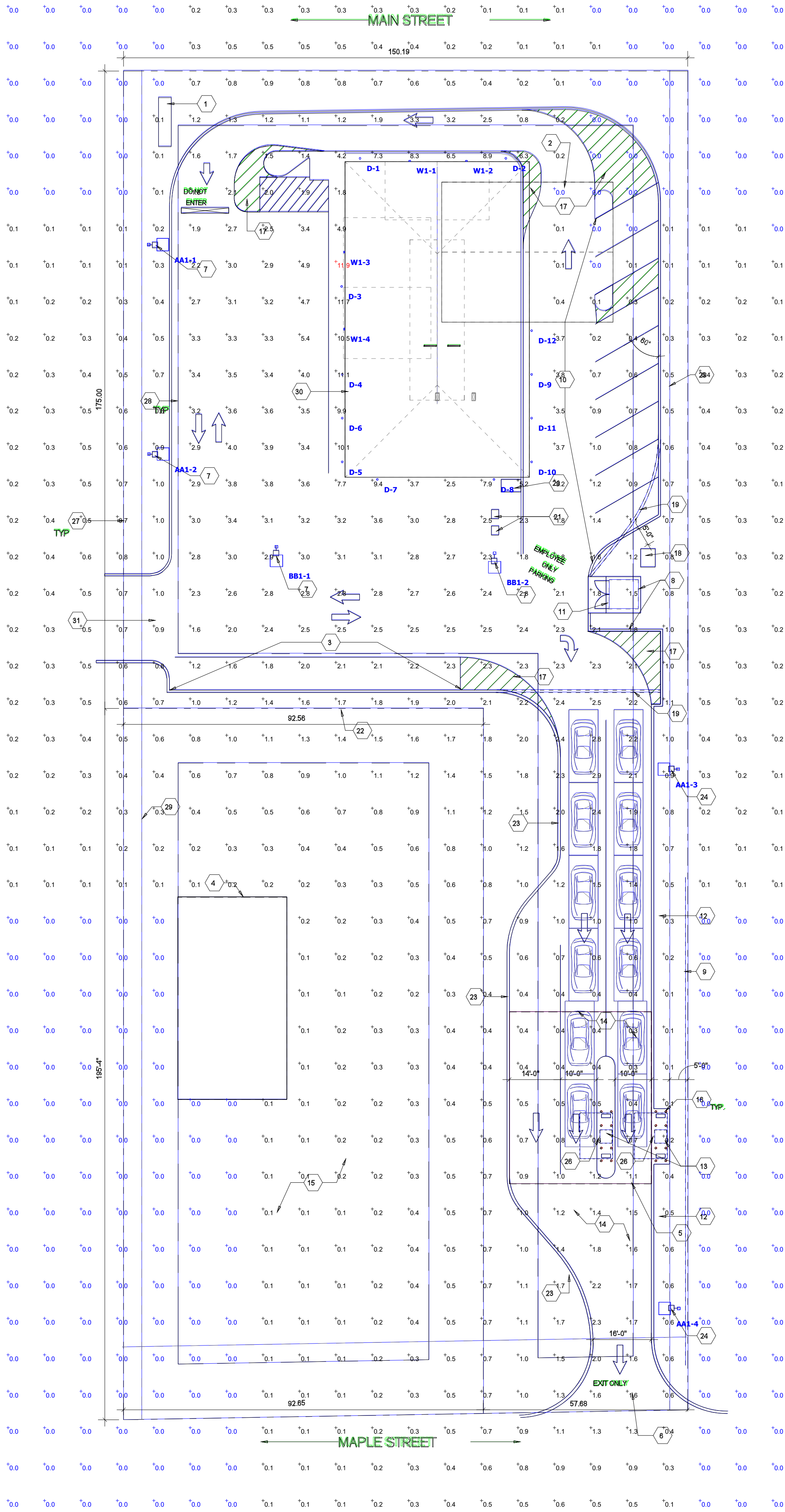
Checked By: KPP

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Schedule									
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
	AA1	4	Lithonia Lighting	DSX1 LED P4 40K 80CRI BLC4	D-Series Size 1 Area Luminaire P4 Performance Package 4000K CCT 80 CRI Type 4 Extreme Backlight Control	1	11051	0.9	123.94
	BB1	2	Lithonia Lighting	DSX1 LED P4 40K 80CRI TSM	D-Series Size 1 Area Luminaire P4 Performance Package 4000K CCT 80 CRI Type 5 Medium	1	15361	0.9	123.94
	W1	4	Lithonia Lighting	WDGE1 LED P2 40K 80CRI VW	WDGE1 LED WITH P2 - PERFORMANCE PACKAGE, 4000K, 80CRI, VISUAL COMFORT WIDE OPTIC	1	1982	0.9	15.0178
	D	12	Indy	L6 13LM 40K 120 G4 80CRI ZT WPR CSS	INDY L6 RECESSED DOWNLIGHT, 13LM ENGINE, 4000K CCT, 120V, GENERATION 4, 80CRI, 0-10V DIMMING, WIDE PARABOLIC REFLECTOR, CLEAR SEMI-SPECULAR FINISH	1	1073	0.9	11.74
									
Max: 10409cd									
									
Max: 8426cd									
									
Max: 1494cd									
									
Max: 781cd									

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Total Area Calculated @ Grade	+	0.9 fc	11.9 fc	0.0 fc	N/A	N/A

Note
1. Davis and Associates, Inc does not assume responsibility for the interpretation of this calculation, or compliance to local or state lighting codes and ordinances.
2. All readings/calculations are shown @ grade.
3. Fixtures are 25' 0" A.F.G.



PROPERTY ADDRESS:

38807 9th Avenue, 6160 and 6174 Maple Street, North Branch, Minnesota.

LEGAL DESCRIPTION:

Lot 8, Lot 11, and Lot 12, Block 34, NORTH BRANCH, Chisago County, Minnesota.

NOTES:

1. The horizontal datum and bearings are based on the Chisago County Coordinate System NAD83 (2011).
2. The vertical datum is NAVD 88. The site bench mark is the top nut of hydrant (depicted hereon). Elevation = 902.58 feet.
3. The area of the property described hereon is 52,579 square feet or 1.2070 acres.
4. The location and extent of underground utilities, if shown, are based upon existing drawings provided by the utility companies, the city, private utility locate, Gopher State One Call markings per ticket number 241300300, 241300288 and 241300322 and above ground evidence. Exclusive of excavation, there is no guarantee as to the accuracy or the completeness of this information. The size and location should be considered approximate. Additional underground utilities may be present. Verification of the existence and location of all utilities should be obtained from the utility owners prior to any planning or design. In accordance with State Statute, the location of utilities shall be confirmed prior to any demolition or construction.
5. The tree information shown hereon was collected during the field survey by non-forestry trained Anderson Engineering of Minnesota survey personnel. Tree sizes are estimates and locations are accurate to plus or minus three feet.
6. No title work was provided for the preparation of this survey to verify the legal description or the existence of any easements or encumbrances.

1010 Mainstreet, Suite 100
Hopkins, MN. 55343
Tel: 952.278.8880

PROJECT

MEMBERS COOPERATIVE CREDIT UNION

NEW BUILDING

NORTH BRANCH, MN

ISSUED SET JUNE 5, 2024

REVISIONS

DATE NO.

I hereby certify that this survey was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Nicholas Hillmer
NICHOLAS HILLMER

# 45774	06/05/2024
REG. NO.	DATE



ANDERSON

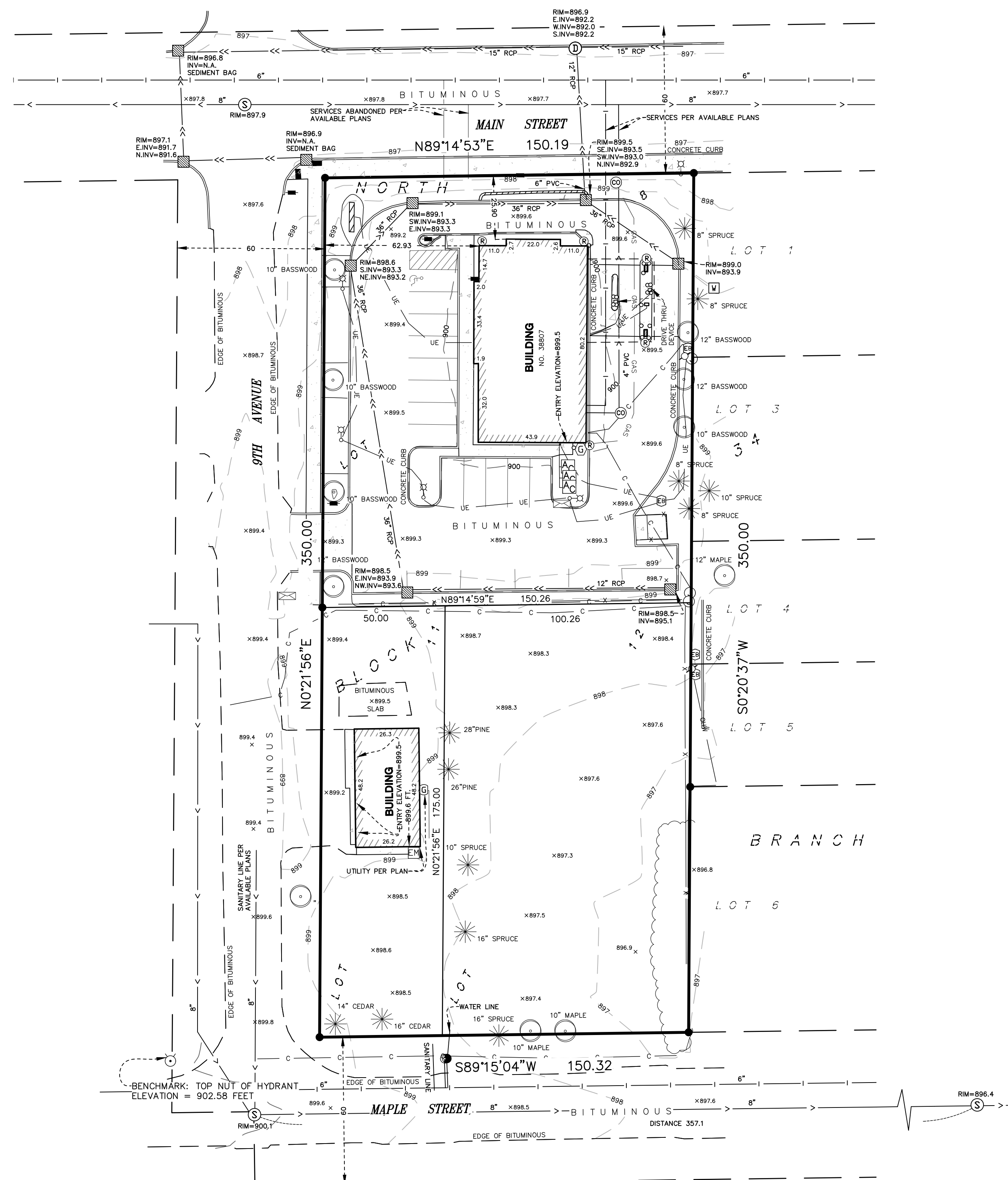
13605 1st Avenue N. #100
Plymouth, MN 55441 | ae-mn.com
P 763.412.4000 | F 763.412.4090
Anderson Engineering of Minnesota, LLC

EXISTING CONDITIONS

DRAWN BY: _____ CHECKED BY: _____

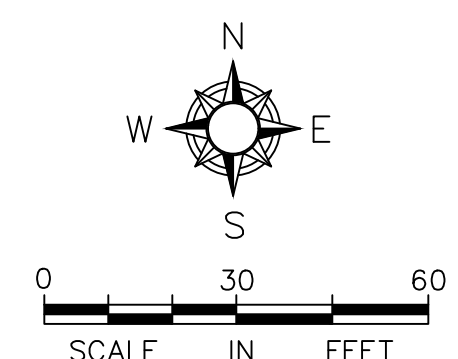
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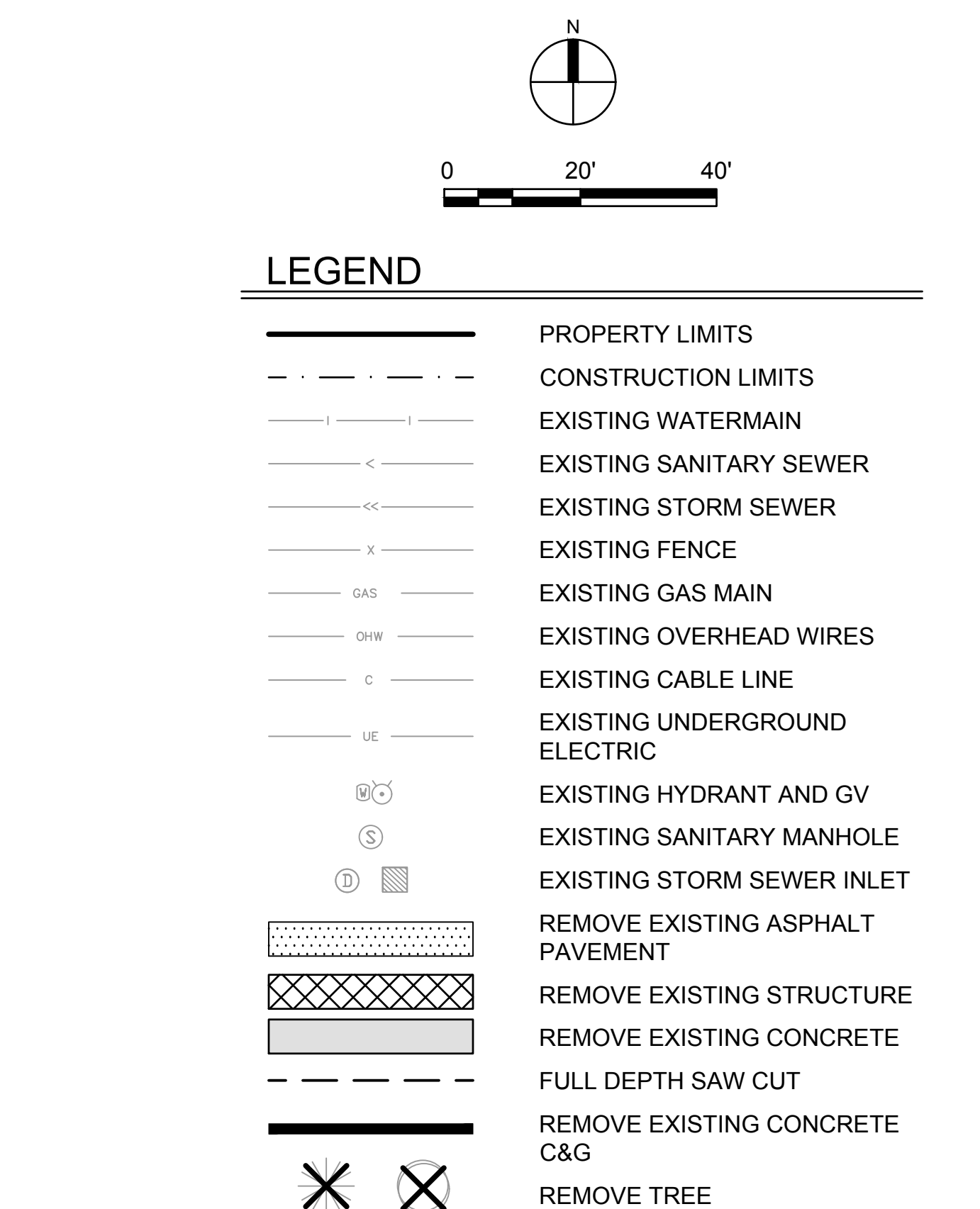
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LEGEND

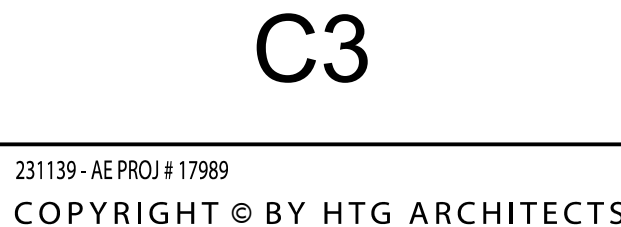
- | | |
|--|------------------------|
| | AIR CONDITIONER |
| | CATCH BASIN |
| | CLEAN OUT |
| | COMMUNICATION PEDESTAL |
| | CURB STOP |
| | ELECTRIC BOX |
| | GAS METER |
| | HANDICAP PARKING |
| | IRRIGATION CONTROL BOX |
| | LIGHT POLE |
| | MAILBOX |
| | POWER POLE |
| | ROOF DRAIN |
| | SANITARY MANHOLE |
| | FOUND IRON MONUMENT |
| | CONIFEROUS TREE |
| | DECIDUOUS TREE |
| | COMMUNICATION |
| | FENCE |
| | GAS MAIN |
| | OVERHEAD WIRES |
| | SANITARY SEWER |
| | STORM SEWER |
| | UNDERGROUND ELECTRIC |
| | WATER MAIN |
| | CONCRETE SURFACE |
| | TREE LINE |
| | WALL |





- ALL TREE REMOVALS MUST BE REVIEWED WITH THE OWNER AND ENGINEER BEFORE BEGINNING TREE REMOVAL OPERATIONS.
2. THE CONTRACTOR SHALL SALVAGE AND REINSTALL STREET AND TRAFFIC SIGNS IN CONFLICT WITH CONSTRUCTION ACTIVITIES AS INDICATED OR DIRECTED BY THE ENGINEER. ANY DAMAGE TO SIGNS DURING CONSTRUCTION REQUIRES THE CONTRACTOR TO PROVIDE NEW SIGNS AT NO ADDITIONAL COST TO THE OWNER.
3. THE COORDINATION OF UTILITY REMOVAL WORK MUST BE CARRIED OUT BY THE CONTRACTOR IN CONSULTATION WITH THE APPROPRIATE UTILITY OWNER.
4. IF UNKNOWN CONTAINERS OR TANKS ARE ENCOUNTERED, THE CONTRACTOR MUST IMMEDIATELY CONTACT THE ENGINEER. PROPER DISPOSAL OF ALL CONTAINERS OR TANKS MUST BE CARRIED OUT AT A REGULATED/PERMITTED FACILITY.
5. THE CONTRACTOR IS TO SAWCUT FULL DEPTH AT PAVEMENT REMOVAL LIMITS AND AS REQUIRED TO ENSURE A SMOOTH FIT/TRANSITION ALONG MATCHING PAVEMENT AREAS.
6. CLEARING AND GRUBBING OPERATIONS MUST ADHERE TO THE FOLLOWING GUIDELINES:
 - A. PROTECT ALL TREES AND PLANTS NOT DESIGNATED FOR REMOVAL.
 - B. CONDUCT OPERATIONS TO AVOID DAMAGE TO PROTECTED TREES AND VEGETATION.
 - C. CUT, REMOVE, AND DISPOSE OF TREES, BRUSH, SHRUBS, WINDFALLS, LOGS, STUMPS, ROOTS, FALLEN TIMBER, AND OTHER VEGETATION.
 - D. BACKFILL DEPRESSIONS WITH NATIVE SOILS OR SUITABLE FILL MATERIAL AS REQUIRED BY DESIGN OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER, AND COMPACT BACKFILL AS DIRECTED.
 - E. DISPOSE OF DEBRIS ACCORDING TO APPLICABLE REGULATIONS.
 - F. CONSIDER BENEFICIAL USE DESIGNATIONS FOR UNADULTERATED WOOD, WOOD CHIPS, BARK, AND SAWDUST
 - G. NO BURYING OF CLEARED AND GRUBBED WASTE WITHIN THE CONSTRUCTION LIMITS.
7. UNLESS OTHERWISE STATED, THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DEMOLITION WITHIN ALL AREAS OF PROPOSED IMPROVEMENTS. REMOVAL LIMITS ARE INDICATED ON THE DRAWINGS IN ANTICIPATED LOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR REMOVALS NECESSARY TO CONSTRUCT NEW IMPROVEMENTS AND MEET DESIGN REQUIREMENTS. ANY UTILITIES TO BE REMOVED MUST BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE FILL MATERIAL, AS PER THE SPECIFICATIONS AND ENGINEER'S DIRECTIVES.
8. THE CONTRACTOR MUST REVIEW FEATURES NOT SPECIFICALLY IDENTIFIED ON THE PLAN TO DETERMINE SALVAGE OR REMOVAL THAT MAY CONFLICT WITH CONSTRUCTION, IN CONSULTATION WITH THE ENGINEER.
9. THE CONTRACTOR IS REQUIRED TO OBTAIN PERMITS NECESSARY FOR DEMOLITION, REMOVAL, AND DISPOSAL.
10. MATERIALS REMOVED OR DEMOLISHED BY THE CONTRACTOR BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE STATED. THE CONTRACTOR IS RESPONSIBLE FOR LOADING, HAULING, AND PROPER DISPOSAL OF MATERIALS IN COMPLIANCE WITH APPLICABLE REGULATIONS. THE SITE MUST BE LEFT IN A CONDITION SATISFACTORY TO THE OWNER AND ENGINEER.
11. THE CONTRACTOR MUST SALVAGE AND REINSTALL FENCES IN CONFLICT WITH CONSTRUCTION ACTIVITIES AS NOTED OR DIRECTED BY THE ENGINEER. IF FENCES ARE DAMAGED DURING CONSTRUCTION, THE CONTRACTOR MUST PROVIDE NEW FENCES, SATISFACTORY TO THE OWNER, AT NO ADDITIONAL COST.
12. THE CONTRACTOR MUST DOCUMENT EXISTING CONDITIONS THROUGH PHOTOS OR VIDEOS BEFORE CONSTRUCTION BEGINS. THIS INCLUDES ITEMS DESIGNATED TO REMAIN THAT MIGHT BE DAMAGED OR DESTROYED DURING CONSTRUCTION. CAUSED BY CONSTRUCTION OPERATIONS. ADEQUATELY DETAILED PHOTOGRAPHS OR VIDEO RECORDINGS, ALONG WITH PLANS AND NOTATIONS, MUST BE SUBMITTED TO THE ENGINEER AND OWNER BEFORE CONSTRUCTION BEGINS. ANY DAMAGE TO EXISTING PAVEMENT, CURBING, STRIPING, OR OTHER SITE FEATURES MUST BE REPLACED BY THE CONTRACTOR TO THE OWNER'S SATISFACTION, AT NO ADDITIONAL COST TO THE OWNER.

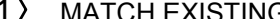
- ① REMOVE EXISTING FENCE
- ② REMOVE EXISTING TRASH ENCLOSURE AND FENCE
- ③ REMOVE EXISTING BRUSH TO PROPERTY LINE
- ④ FULL DEPTH SAW CUT LINE
- ⑤ REMOVE AND REPLACE EXISTING MANHOLE CASTING. RE-USE IF POSSIBLE.
- ⑥ REMOVE EXISTING BOLLARD. PROTECT EXISTING GAS METER IN-PLACE.
- ⑦ REMOVE EXISTING BOLLARDS, ATM'S, AND CONCRETE ISLAND AS NEEDED FOR PARKING STALLS.





1. THE CONTRACTOR IS RESPONSIBLE FOR THE CONTINUAL MAINTENANCE OF STREET AND TRAFFIC SIGNS THROUGHOUT THE CONSTRUCTION PERIOD.
2. ENSURE THAT SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AS WELL AS THE STANDARDS SET BY THE CITY, COUNTY, AND MN/DOT.
3. THE PAVEMENT SURFACE IS TO BE CLEANED AS DIRECTED BY THE CITY, COUNTY, MN/DOT, OR ENGINEER JUST BEFORE THE APPLICATION OF PAVEMENT MARKINGS. CLEANING SHOULD INVOLVE BRUSHING WITH A NONMETALLIC ROTARY BRUSH OR AS RECOMMENDED BY THE MATERIAL MANUFACTURER AND ACCEPTED BY THE CITY, COUNTY, MN/DOT, OR ENGINEER (INCIDENTAL).
4. IMMEDIATELY FOLLOWING PAVEMENT CLEANING, APPLY PAVEMENT MARKINGS.
5. WHEN CONNECTING TO EXISTING ROADWAYS/PAVEMENT SECTIONS AT THE TERMINI OF PROPOSED NEW CONSTRUCTION, CUT VERTICALLY TO THE BOTTOM OF THE IN-PLACE SURFACING OR TO THE BOTTOM OF THE NEW SURFACING DESIGN, WHICHEVER IS DEEPER, THEN AT A 1:20-20T TAPER TO THE BOTTOM OF THE RECOMMENDED SUBGRADE EXCAVATION.
6. THE CONTRACTOR MUST HAVE A MINIMUM OF TWO INDIVIDUALS WITH CURRENT ACI CONCRETE FLATWORK TECHNICIAN OR FLATWORK FINISHER CERTIFICATION, AND AT LEAST ONE OF THEM MUST BE A NON-EMPLOYEE OF ANY CONCRETE FOURS.
7. TAKE MEASURES TO PROTECT CONCRETE PAVING FROM DAMAGE, EXCLUDING TRAFFIC FROM PAVING FOR A MINIMUM OF 14 DAYS AFTER PLACEMENT. REPAIR OR REPLACE STAINED CONCRETE TO THE SATISFACTION OF THE OWNER AT NO COST TO THE OWNER.
8. CONSTRUCTION AND MATERIALS WITHIN THE PUBLIC RIGHT-OF-WAY MUST ADHERE TO CITY, COUNTY, AND MN/DOT SPECIFICATIONS AND STANDARDS. MN/DOT SPECIFICATIONS AND STANDARDS APPLY IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS. PAVING, PAVEMENT MARKINGS, AND SIGNAGE WITHIN THE SITE MUST MEET SPECIFIC REQUIREMENTS.
 - A. SITE BITUMINOUS SHALL MEET MN/DOT SPEC 2360 AND IN ACCORDANCE WITH DRAWING SPECIFICATIONS. MAXIMUM ALLOWABLE BITUMINOUS LIFT THICKNESS SHALL NOT BE GREATER THAN 3 INCHES. PLACE TACK COAT BETWEEN EACH LIFT AT A RATE SPECIFIED ON DRAWING DETAILS.
 - B. CONCRETE PAVEMENT TO CONFORM TO MN/DOT SPEC 2461
 - C. CONCRETE CURB AND GUTTER TO CONFORM TO MN/DOT SPEC 2461
 - D. CONCRETE ISOLATION/EXPANSION JOINT MATERIAL. MN/DOT SPEC 3702, TYPE D-1 OR TYPE D-2. PROVIDE CAULKING/JOINT SEALANT AND BACKER ROD AS RECOMMENDED BY JOINT MANUFACTURER.
 - E. CONCRETE CURING MATERIAL TO CONFORM TO MN/DOT SPEC 3754. CONCRETE SEALER TO BE SILOXIA-TK 8500, ARMOR SX5000, OR APPROVED EQUAL AND TO BE APPLIED PER MANUFACTURER INSTRUCTIONS.
 - F. CONCRETE PLACING, FINISHING, CURING, AND PROTECTION TO CONFORM TO MN/DOT SPEC 2461.0251, AND TO CONFORM TO ADOPTABLE STANDARD.
 - G. SIGNAGE TO CONFORM TO MN/DOT SPECS 3564, 3352, AND 3402. SIGNS SHALL INCLUDE NUMBER AND SIZE OF POSTS IN ACCORDANCE WITH MN/DOT WIND LOADING CHART FOR SIGNS ON SQUARE TUBE POSTS. MOUNT SIGNS IN ACCORDANCE WITH SQUARE TUBE SIGN MOUNTING MN/DOT STANDARD PLANS.
 - H. SEE MN/DOT MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PART II FOR DETAILS OF TRAFFIC SIGN INSTALLATION.
 - I. AGGREGATE BASE TO CONFORM TO MN/DOT SPEC 3138, CLASS 5 AGGREGATE BASE, 100% GUSHED VIRGIN AGGREGATE OR APPROVED EQUAL.
 - J. PAVEMENT MARKINGS TO CONFORM TO MN/DOT SPEC 2582. ALLOW NEW PAVEMENT TO CURE FOR A MINIMUM OF 14 DAYS MINIMUM PRIOR TO APPLYING PAVEMENT MARKINGS.
10. IMPLEMENT FIELD QUALITY CONTROL MEASURES:
 - A. TEST THE CONCRETE AIR CONTENT (ASTM C231), CONCRETE SLUMP (ASTM C143), AIR AND CONCRETE TEMPERATURE, AND 7- AND 28-DAY COMPRESSIVE STRENGTH (ASTM C31, C39, AND C172), WHERE APPLICABLE, CONDUCT TESTS IN ACCORDANCE WITH THE MN/DOT SCHEDULE OF MATERIALS CONTROL.
 - B. ENSURE THAT ALL BITUMINOUS PAVEMENT DENSITY ADHERES TO MN/DOT SPEC 2360.3.D.2 USING THE ORDINARY COMPACTION METHOD. THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING A ROLL PATTERN FOR EACH COURSE OF PAVING DAILY.
 - C. CONDUCT A TEST ROLL OF THE SUBGRADE AND AGGREGATE BASE FOLLOWING MN/DOT SPECS 2211 FOR AGGREGATE BASE AND 2111 FOR TESTING ROLLING. THE TEST ROLL MUST BE WITNESSED BY THE ENGINEER OR GEOTECHNICAL ENGINEER.
11. TOLERANCES:
 - A. ENSURE THAT BITUMINOUS PAVEMENT LINE, GRADE, AND THICKNESS CONFORM TO MN/DOT SPEC 2360.3.E
 - B. CONCRETE PAVEMENT TO CONFORM TO MN/DOT SPEC 2521.3.D.3
 - C. CONCRETE CURB AND GUTTER TO CONFORM TO MN/DOT SPEC 2521.3
 - D. PAVEMENT MARKINGS TO CONFORM TO MN/DOT SPEC 2582.3.C
12. CONTRACTOR SHALL PROVIDED CONCRETE JOINTS TO MATCH EXISTING ADJACENT WORK AND AS FOLLOWS:
 - A. CONTROL JOINTS - MAINTAIN AN ASPECT RATIO (LENGTH TO WIDTH) OF CONTROL JOINTS AS CLOSE TO 1 AS FEASIBLE, AVOIDING AN ASPECT RATIO GREATER THAN 1.5:1. MATCH THE EXISTING PATTERN WHERE APPLICABLE. THE MAXIMUM SPACING FOR CONTROL JOINTS SHOULD BE 24 TIMES THE SLAB THICKNESS, UP TO A MAXIMUM OF 12 FEET. ADDITIONALLY, JOINT INTERSECTION ANGLES LESS THAN 60 DEGREES ARE NOT ALLOWED, AND PANEL WIDTHS LESS THAN 6 INCHES AT ANY POINT ARE PROHIBITED. JOINTING MUST ACCOMMODATE IN-PAVEMENT STRUCTURES THROUGH JOINTING AND BOXOUTS. THE CONTRACTOR IS REQUIRED TO SUBMIT A JOINTING PLAN FOR ENGINEER ACCEPTANCE.
 - B. EXPANSION JOINTS - EXPANSION/ISOLATION JOINTS MUST BE PROVIDED AT VARIOUS LOCATIONS, INCLUDING THOSE WHERE ABRUPT CHANGES IN DIRECTION OCCUR, WHERE CHANGES IN WIDTH TAKE PLACE, WHERE ADJOINING EXISTING CONCRETE IS PRESENT, AT LOCATIONS AROUND THE BUILDING AND AT OTHER SITE FEATURES SUCH AS RAMPS, STAIRS, LAIRS, CONCRETE CURB, CURB, PARAPETS, AND LANDSCAPE FEATURES, ETC., AND AT LOCATIONS WITH CHANGES IN DEPTH. INCLUDING PAVEMENT ADJACENT TO THE CURB.
13. INSTALL A MINIMUM 6-INCH CLASS 5 AGGREGATE BASE UNDER CURB AND GUTTER AS DETAILED.



- | | |
|---|---------------------------------|
|  | PROPERTY LIMITS |
|  | CONSTRUCTION LIMITS |
|  | EXISTING WATERMAIN |
|  | EXISTING SANITARY SEWER |
|  | EXISTING STORM SEWER |
|  | EXISTING GAS LINE |
|  | EXISTING OVERHEAD WIRE |
|  | EXISTING UNDERGROUND CABLE |
|  | EXISTING UNDERGROUND ELECTRICAL |
|  | PROPOSED BITUMINOUS PAVEMENT |
|  | PROPOSED CONCRETE PAVEMENT |

KEY NOTES

- ① REPLACE EXISTING MANHOLE CASTING. RIM ELEVATION TO MATCH EXISTING AT 898.50. ADJUST WITH CONCRETE RINGS AS NEEDED.
- ② INSTALL 3" WIDE CONCRETE VALLEY GUTTER PER DETAIL 6/C7.
- ③ ADJUST ELECTRICAL BOX TO FINISHED GRADE AS NEEDED.
- ④ LOWER EXISTING CABLE LINES AS NEEDED. CONTRACTOR TO FIELD VERIFY ELEVATION PRIOR TO CONSTRUCTION.
- ⑤ NEW PARKING STRIPING PER ARCHITECTURAL SITE PLAN.
- ⑥ PROPOSED ATM AND CONCRETE ISLAND. SEE ARCHITECTURAL PLAN.
- ⑦ PROPOSED TRASH ENCLOSURE. SEE ARCHITECTURAL PLAN
- ⑧ 5' TRANSITION FROM B612 CONCRETE CURB & GUTTER TO ROLL CURB.



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PROJECT

**MEMBERS COOPERATIVE
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I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

NOT FOR CONSTRUCTION
BRIAN J. FIELD, P.E.

# 57224	06/05/2024
REG. NO.	DATE



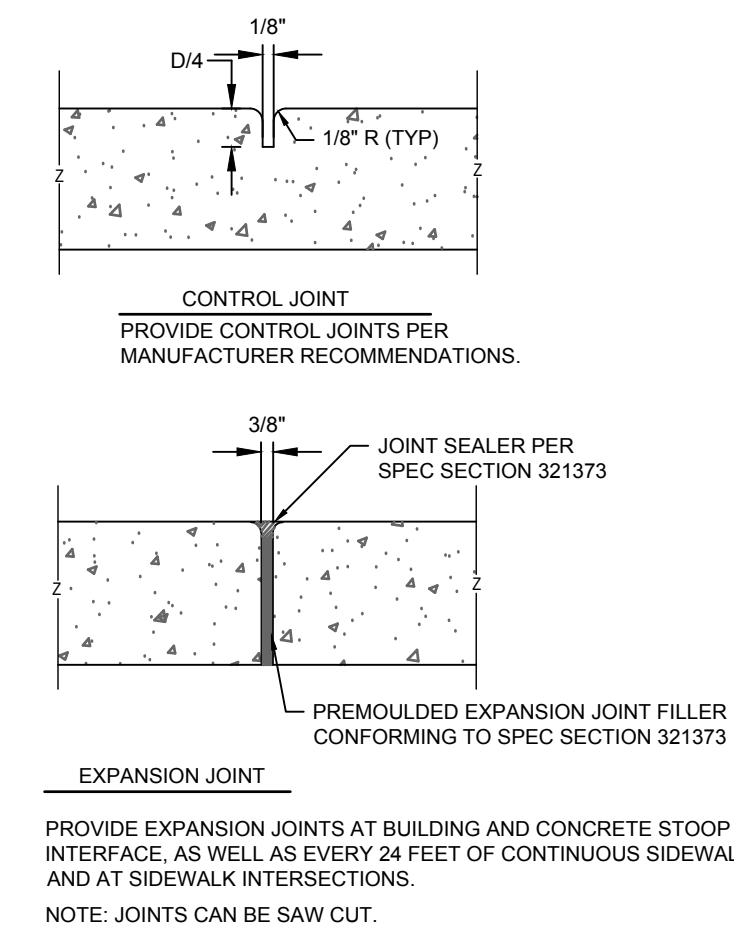
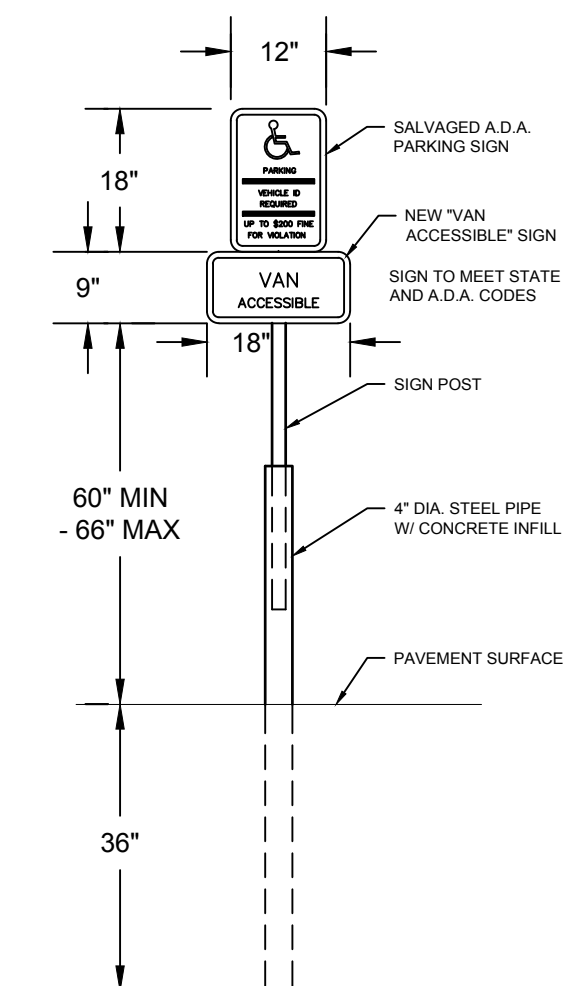
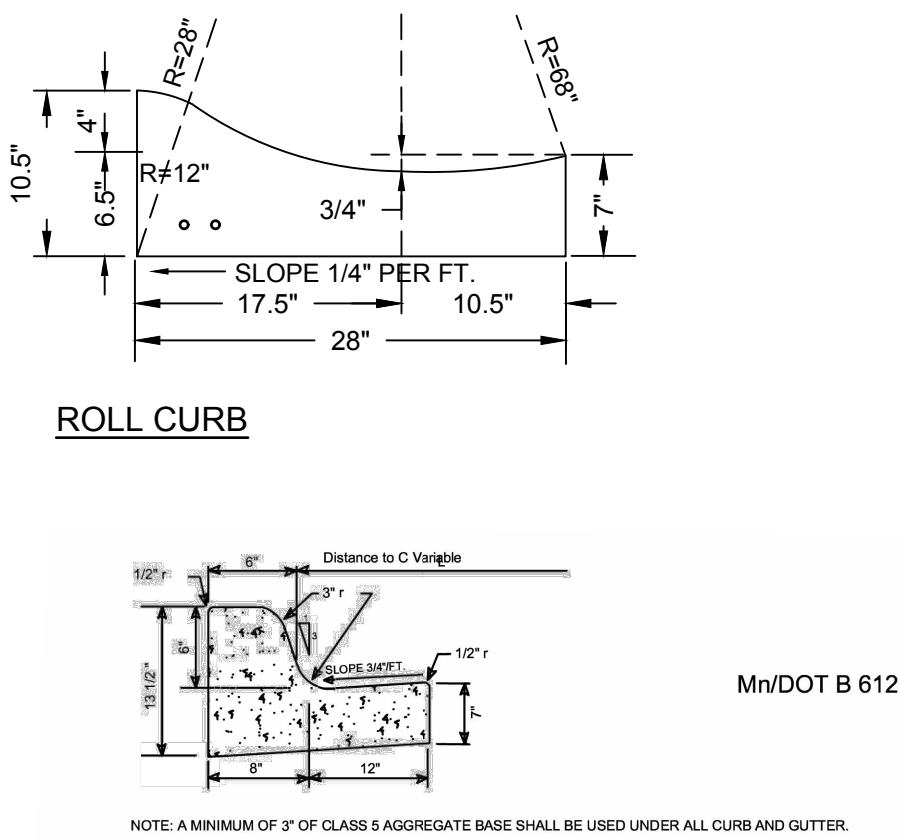
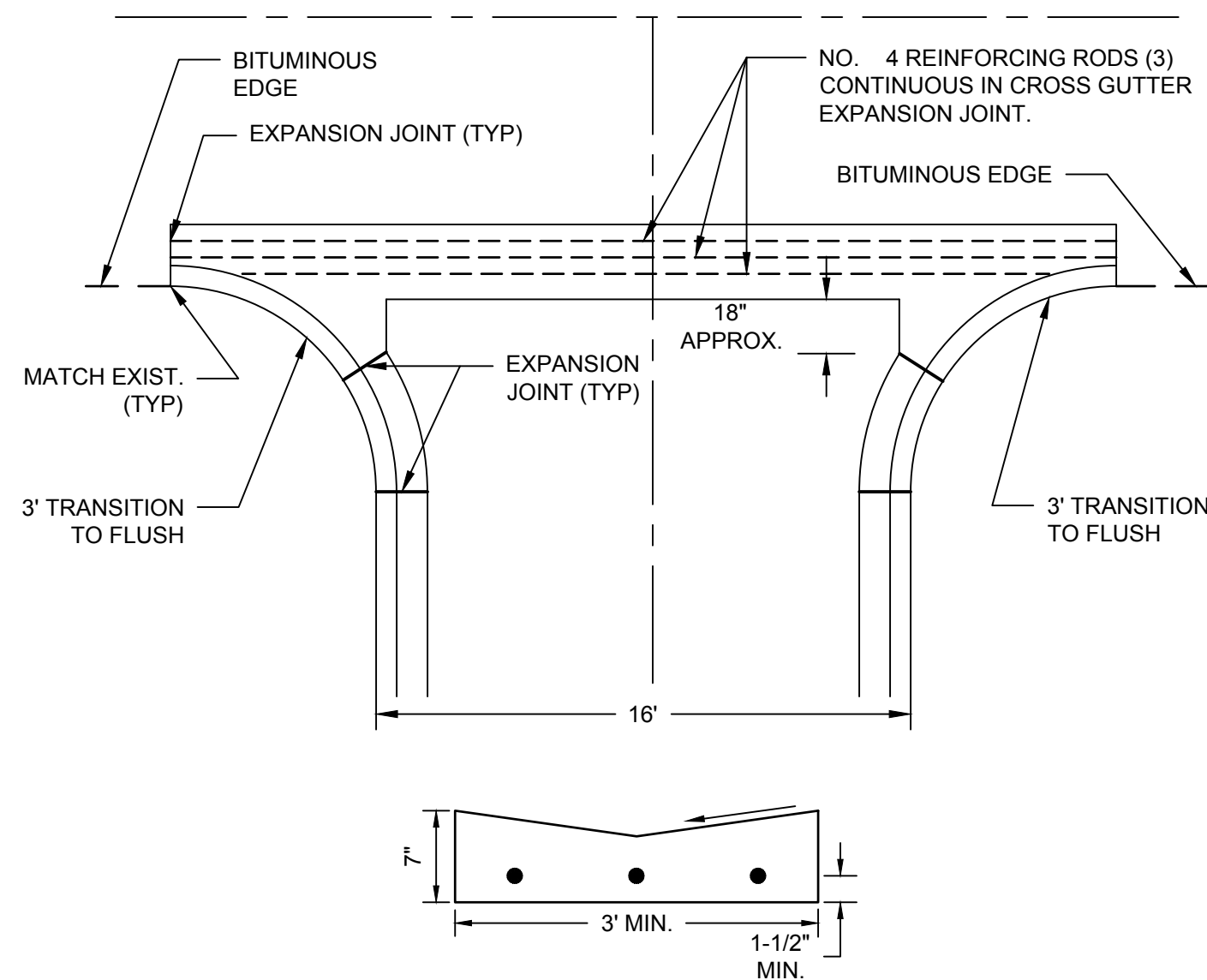
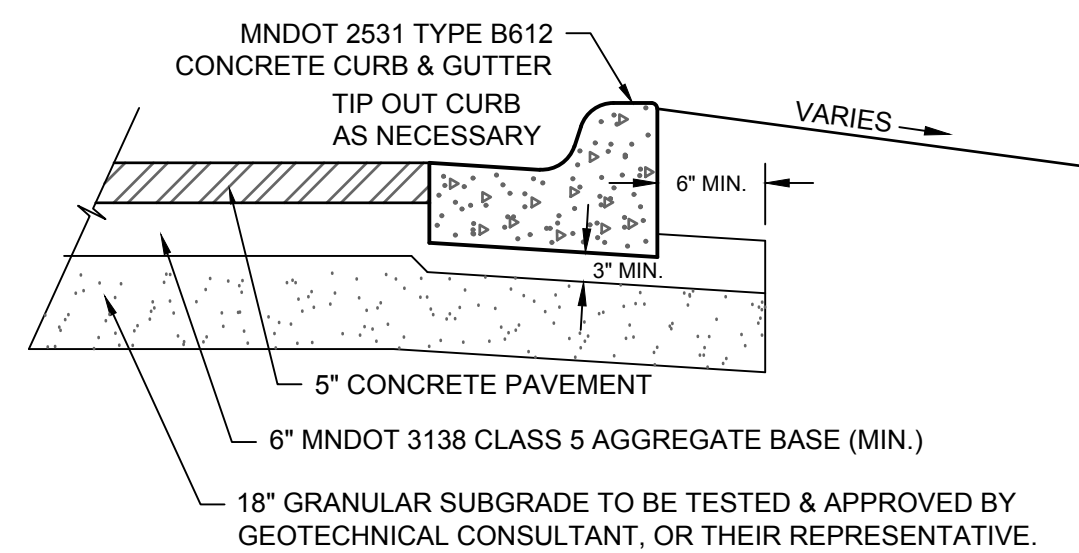
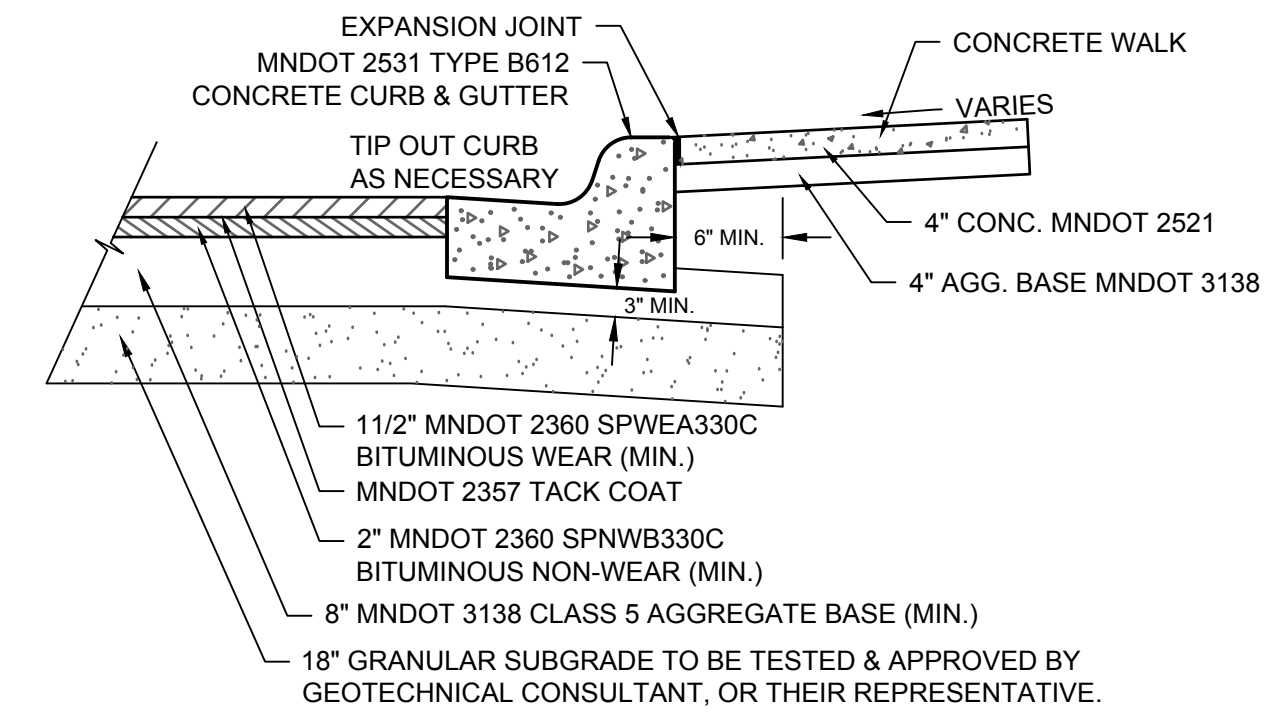
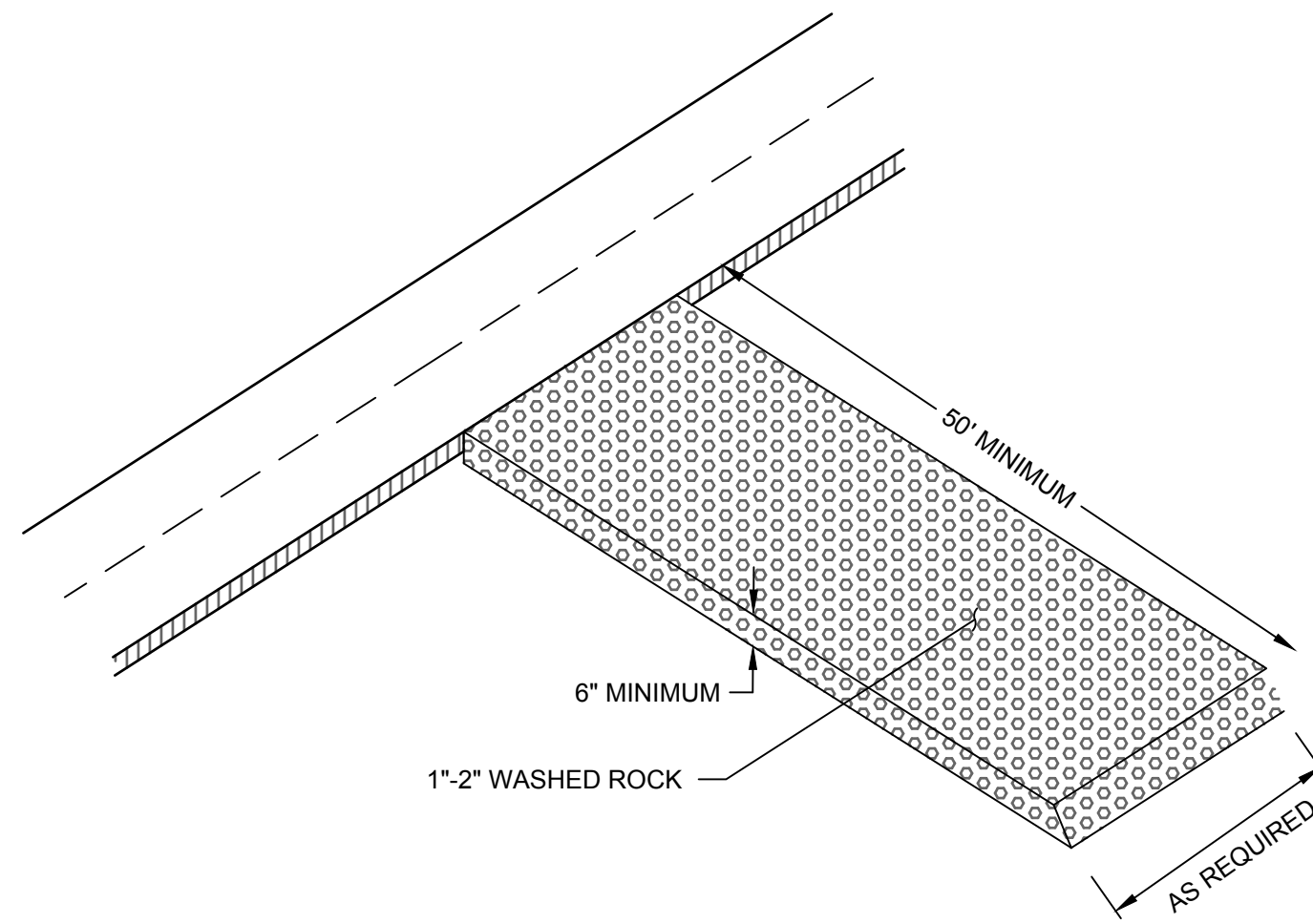
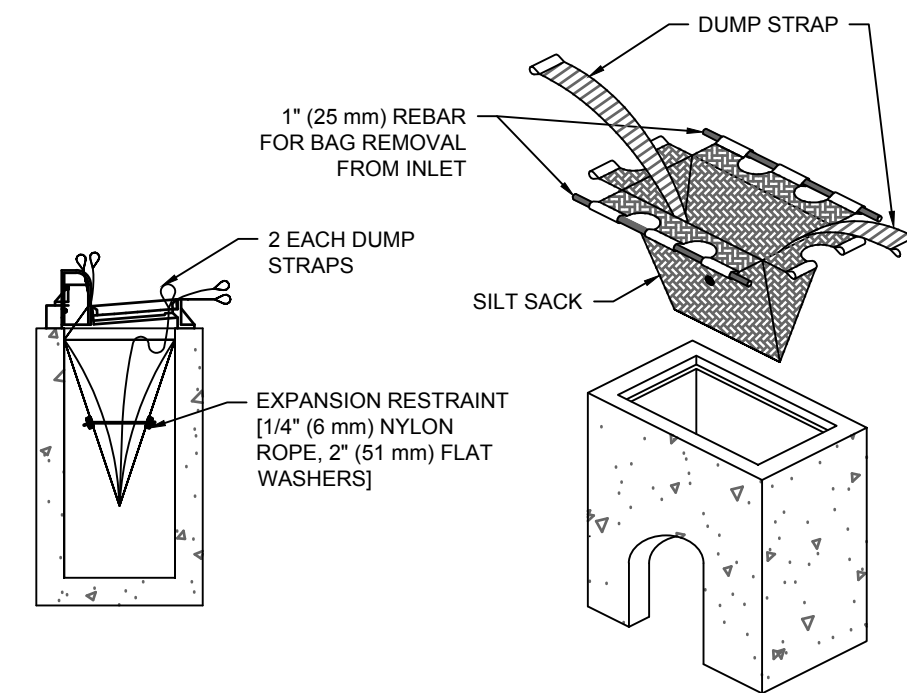
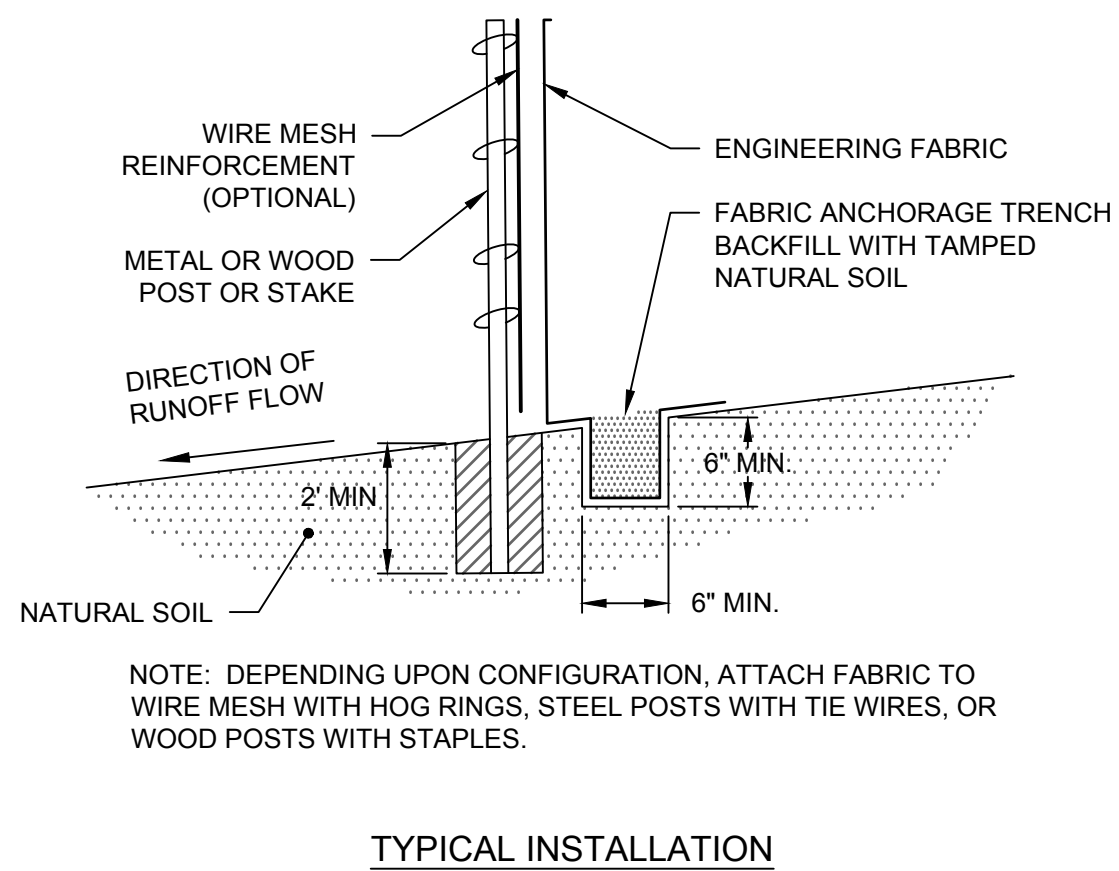
ANDERSON

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P 763.412.4000 | F 763.412.4090
Anderson Engineering of Minnesota, LLC

UTILITY & PAVING PLAN

DRAWN BY: SL CHECKED BY: BF

C6



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PROJECT

**MEMBERS COOPERATIVE
CREDIT UNION**

NEW ACCESS ROAD

NORTH BRANCH, MN 55056

ISSUED SET JUNE.05,2024

REVISIONS

DATE	NO.
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I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

NOT FOR CONSTRUCTION
BRIAN J. FIELD, P.E.

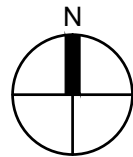
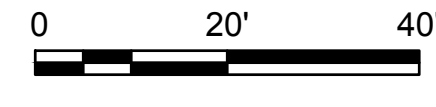
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REG. NO.	DATE



CIVIL DETAILS

DRAWN BY: SL CHECKED BY: BF

C7



	PROPERTY LIMITS
	CONSTRUCTION LIMITS
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	SOD
	MN DOT 25-131 LOW MAINTENANCE TURF MIX

1. PER CITY OF NORTH BRANCH CODE, IRRIGATION IS NOT REQUIRED
2. IF A DISCREPANCY IS FOUND, THE PLANTING PLAN SHALL OVERRIDE THE PLANT SCHEDULE.

REQUIREMENTS

NONRESIDENTIAL SITES SHALL CONTAIN A MINIMUM OF THE GREATER
OF:

1. ONE TREE PER 1,000 SQUARE FEET OF GROSS BUILDING FLOOR AREA.
2. ONE TREE PER 50 LINEAL FEET OF SITE PERIMETER.

CALCULATION

1,000 SF / 0 BUILDING FLOOR AREA = 0 TREES
1,000 LF OF SITE PERIMETER / 50 = 20 TREES

REQUIRED

20 TREES
PROVIDED
16 EXISTING TREES
4 PROPOSED TREES

EXISTING TREES ON A LOT MAY COUNT TOWARDS THE REQUIRED NUMBER OF TREES PROVIDED THE SIZE AND TYPE ARE CONSISTENT WITH SIZE AND SPECIES REQUIREMENTS.

AT LEAST 25% OF THE TOTAL REQUIRED TREES SHALL BE DECIDUOUS.
AT LEAST 25% OF THE TOTAL REQUIRED TREES SHALL BE CONIFEROUS.

<u>SYMBOL</u>	<u>CODE</u>	<u>QTY</u>	<u>COMMON / BOTANICAL NAME</u>	<u>CONT</u>	<u>CAL</u>
---------------	-------------	------------	--------------------------------	-------------	------------

DECIDUOUS TREES					
	Qb	2	SWAMP WHITE OAK QUERCUS BICOLOR	B&B	2 - 1/2" CAL.
EVERGREEN TREES					
	Pb	2	BLACK HILLS SPRUCE PICEA GLAUCA DENSATA	B&B	6' HT.



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PROJECT

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NORTH BRANCH, MN 55056

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NOT FOR CONSTRUCTION
CURT H. CLAEYS, PLA

# 45613	06/05/2024
REG. NO.	DATE



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Anderson Engineering of Minnesota, LLC

PLANTING PLAN

DRAWN BY: JS CHECKED BY: CC

L1

LANDSCAPE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING A BID TO BECOME COMPLETELY FAMILIAR WITH PLANT CONDITIONS.

NO PLANTING SHALL BE INSTALLED UNTIL ALL GRADING, BUILDING, CONSTRUCTION, UTILITY WORK & IRRIGATION (IF APPLICABLE) HAS BEEN COMPLETED IN THE AREAS TO BE PLANTED.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY ALL UNDERGROUND CABLES, CONDUITS, WIRES, ETC., ON THE PROPERTY.

IF THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN AND THE NUMBER OF PLANTS SHOWN IN THE PLANT LIST, THE NUMBER OF PLANTS SHOWN ON THE PLAN WILL TAKE PRECEDENCE.

ALL PROPOSED PLANT MATERIAL SHALL BE LOCATED CAREFULLY AS SHOWN ON THE PLAN. IF THE CONTRACTOR BELIEVES AN ERROR HAS BEEN MADE REGARDING SPACING OR LOCATION OF THE PLANT MATERIAL INDICATED ON THE PLAN, NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

THE CONTRACTOR IS RESPONSIBLE FOR COMPLETE MAINTENANCE OF THE PLANT MATERIAL (WATERING, SPRAYING, FERTILIZING, MOWING, ETC.) UNTIL THE WORK HAS BEEN ACCEPTED, BY THE OWNER.

THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS TO PROPERTY DAMAGE FROM PLANTING OPERATIONS AT NO COST TO THE OWNER.

ALL NEWLY PLANTED PLANT MATERIAL SHALL BE GUARANTEED THROUGH ONE CALENDAR YEAR STARTING FROM THE DATE OF ACCEPTANCE ESTABLISHED BY THE OWNER.

THE CONTRACTOR SHALL MEET WITH THE OWNER OR OWNERS REPRESENTATIVE ON SITE WHEN THEY FEEL THE PROJECT IS COMPLETE ACCORDING TO THE CONTRACT DOCUMENTS. IF ALL WORK IS SATISFACTORY AND COMPLETE ACCORDING TO THE CONDITIONS OF THE CONTRACT DOCUMENTS, THEN THE OWNER MUST DECLARE THE PROJECT COMPLETE. THIS DECLARATION WILL CONSTITUTE AS THE BEGINNING OF THE ONE (1) YEAR WARRANTY PERIOD FOR ALL PLANT MATERIAL. THE OWNER SHALL PROVIDE A LETTER WITH SIGNATURE STATING THE DATE OF ACCEPTANCE.

WIND BURN OR OTHERWISE DAMAGED PLANT MATERIAL WILL NOT BE ACCEPTED.

CONTRACTOR CAN SUBSTITUTE MACHINE MOVED MATERIAL USING APPROPRIATE SIZE TREE SPADE FOR B & B WITH OWNER APPROVAL.

THE PRACTICE OF STAKING SHOULD NOT ALLOW NAILS, SCREWS, WIRES, ETC. TO PENETRATE THE OUTER SURFACE OF THE TREES.

THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF ALL TREE STAKES, GUYS, STRAPS AND TRUNK PROTECTION MEASURES FOLLOWING THE COMPLETION OF THE WARRANTY PERIOD OR AS DIRECTED BY THE OWNER.

LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE THE OWNER WITH MAINTENANCE INFORMATION DURING THE GUARANTEE PERIOD RELATING TO WATERING, FERTILIZING, PRUNING, PEST CONTROL, AND RELATED ITEMS. THIS WILL BE PREPARED AND DELIVERED TO THE OWNER AFTER PROVISIONAL INSPECTION APPROVAL HAS BEEN GIVEN BY THE OWNER AND/OR LANDSCAPE ARCHITECT.

INSTALL CORRUGATED PLASTIC TREE GUARDS, WHITE IN COLOR, WITH THE SIZE OF TUBE 1" DIA. (MIN.) LARGER THAN THE CALIPER OF THE TREE TO BE PROTECTED.

3" DEPTH SHREDDED HARDWOOD MULCH SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS THAT ARE ISOLATED FROM GROUND COVER AREAS AND GENERAL SHRUB MASSES.

CALIPER OF TREES UP TO AND INCLUDING 4" SHALL BE MEASURED AT 6" ABOVE GROUND LEVEL, AND 12" ABOVE GROUND LEVEL FOR LARGER SIZES.

FOR BALLED & BURLAP PLANT MATERIAL, REMOVE THE TOP HALF OF THE BURLAP FROM THE ROOT BALL. WIRE CAGES, STRAPS, ETC. SHALL BE REMOVED FROM THE TOP HALF OF THE ROOTBALL BEFORE INSTALLATION.

LANDSCAPE CONTRACTOR SHALL PROVIDE AND INSTALL NURSERY GROWN PLANT MATERIAL CONFORMING TO THE REQUIREMENTS AND RECOMMENDATIONS OF THE LATEST EDITION OF ANSI Z60.1 STANDARDS UNLESS OTHERWISE NOTED IN THE PLANS OR SPECIFICATIONS.

LANDSCAPE CONTRACTOR SHALL ENSURE THAT NEW TREES MOVED ONTO THE SITE ARE DUG FROM SIMILAR SITES WITH SIMILAR SOILS TO THE SOILS OF THIS PROJECT (HEAVY TO HEAVY, LIGHT TO LIGHT, HEAVY TO LIGHT SOILS). CONTRACTOR SHALL REVIEW SOIL CONDITIONS/TYPES WITH OWNER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

ALL NEWLY INSTALLED PLANT MATERIAL SHALL BE PLANTED IN WELL-DRAINED AREAS. NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION IF ANY PLANT MATERIAL IS LOCATED IN DRAINAGE SWALES OR WET & POORLY DRAINED AREAS.

ALL PLANTINGS SHALL RECEIVE FERTILIZER AS FOLLOWS:

1. SUMMER AND FALL PLANTING: 0.20-20 GRANULAR (IN SAUCER AROUND PLANT AT THE RATE OF 12 OZ. PER 2-3" CAL. TREE & 6 OZ. PER SHRUB).
2. SPRING PLANTING: 10-10-10 GRANULAR (APPLY ABOVE REFERENCED FERTILIZER AT A RATE OF 12 OZ. PER 1-1/2" CAL. TREE OR LARGER & 6 OZ. PER SHRUB & PERENNIAL.

ALL PLANTINGS SHALL RECEIVE AN AMENDED SOIL MIX CONSISTING OF THREE (3) PARTS:

1. 45% APPROVED TOPSOIL (ONE SITE PREFERRED)
2. 45% ORGANIC MATTER (TYPE 1 SPHAGNUM PEAT MOSS FINELY DIVIDED WITH A PH OF 3.1 - 5.0.)
3. 10% SAND (FINE CLEAN MASONRY SAND)

AREAS TO RECEIVE SOD OR SEED SHALL HAVE A 6" MINIMUM DEPTH OF TOPSOIL. TOPSOIL SHALL PROVIDE FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY CLUMPS, BRUSH WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONE LARGER THAN 1" IN ANY DIMENSION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH.

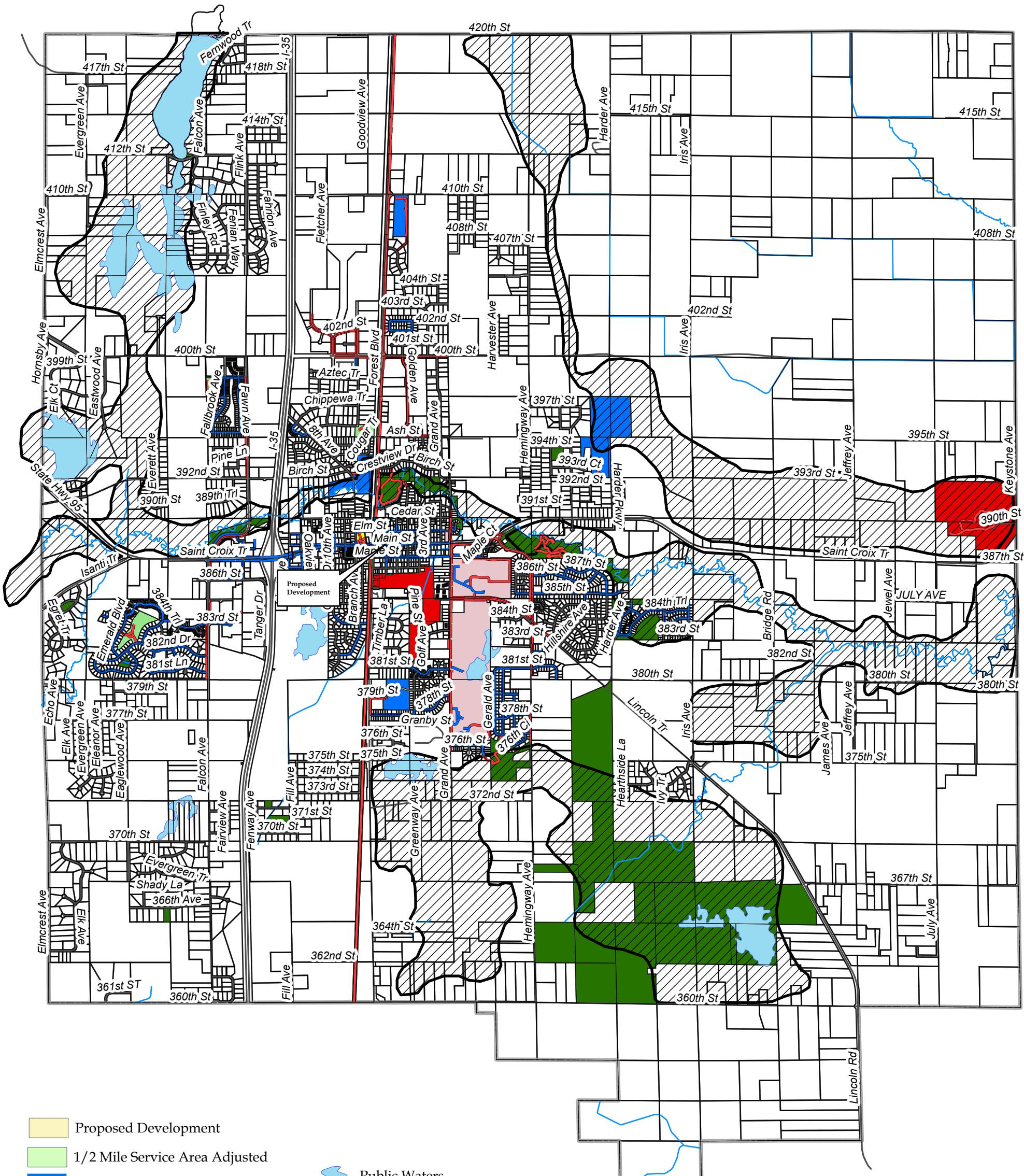
SOD SHALL BE HIGHLAND SOD, 30" X 100" ROLLS PREFERRED WHERE APPLICABLE; TO BE LAID PARALLEL WITH THE CONTOURS AND HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR DRAINAGE SWALES, THE SOD SHALL BE STAKED TO THE GROUND. SCARIFY THE EXISTING GRADES WITH FIELD CULTIVATOR PRIOR TO LAYING OF TOPSOIL AND FINISH GRADING FOR SOD. IMMEDIATELY PRIOR TO PLACING SOD, CONTRACTOR SHALL APPLY 10-6-4 FERTILIZER AT THE RATE OF 10 POUNDS PER 1000 SQ. FT.

REFER TO MN DOT SEED MANUAL FOR RATE AND METHOD OF APPLICATION.

THE REQUIRED WORK SHALL CONSIST OF CONTINUOUSLY CONDUCTING OPERATIONS AND MAINTENANCE FOR A WARRANTY PERIOD ESTABLISHED FOR 1 YEAR AFTER THE INSTALLATION HAS BEEN ACCEPTANCE BY THE OWNER. THE WORK INCLUDES:

- 1.1. ESTABLISHMENT OF BALLED AND BURLAPPED AND CONTAINER PLANT MATERIAL, SODDED AND SEEDED AREAS INCLUDING PEST CONTROL, FERTILIZING AND FUNGICIDAL TREATMENT
- 1.2. REGULAR WATERING SCHEDULING FOR ALL PLANT MATERIAL, SOD AND SEEDING
- 1.3. REMOVAL OF ALL WEEDS WITHIN THE PROJECT AREA BY METHODS AGREED BY THE OWNER (POST/PRE HERBICIDE TREATMENT, HAND OR MECHANICAL REMOVAL)
- 1.4. MAINTENANCE OF MISCELLANEOUS ITEMS (EROSION CONTROL PRODUCTS, REPAIRS FROM EROSION)
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ON-SITE REVIEW MEETINGS WITH THE OWNER DURING THE PLANT ESTABLISHMENT PERIOD TO IDENTIFY OPERATIONS AND MAINTENANCE TO BE EXECUTED MONTHLY.
3. PLANT MATERIAL DEEMED TO BE REPLACED AT THE END OF PLANT ESTABLISHMENT PERIOD SHALL BE EXECUTED WITHIN 2 WEEKS (14 DAYS) PRESENTING LESS THE FOLLOWING SURVIVORSHIP:
 - 3.1. BALLED AND BURLAPPED AND CONTAINER PLANT MATERIAL: 75%
 - 3.2. SODDED AREAS: 100% (0% BARE SOIL)
 - 3.3. SEEDED AREAS: 90% (<10% BARE SOIL)
4. REPLACEMENT PLANTS, SOD AND/OR SEED SHALL BE OF THE SAME SPECIES AND SIZE AS ORIGINALLY SPECIFIED ON THE DRAWINGS, UNLESS THE OWNER DETERMINES THAT SUBSTITUTIONS OF ANOTHER SPECIES OR SIZE SHALL BE MADE.





- Proposed Development
- 1/2 Mile Service Area Adjusted
- Community Playfield
- Natural Resource Area
- Neighborhood Park
- Regional
- Public Waters
- Streams/Ditches
- Conceptual Open Space/Wildlife Corridor
- Existing Sidewalks
- Existing Trails



PTOS Comp Plan Members Credit Union Plat



Disclaimer:
The data on this map is provided "as is"
and does not represent a survey. NO liability is
assumed to accuracy of the data
delineated hereon.



Prepared By:
Nathan Sondrol, GIS Specialist/Parks Director
Presenter: Nathan Sondrol, GIS Specialist/Parks Director
Date: 06/28/2024

Board & Commission: Parks, Trails and Open Space Commission

Subject: PTOS Strategic Plan

Background Information:

The PTOS Commission has been working on reviewing the city's existing parks, trails and open space inventory and conducting a needs analysis. The Commission has reviewed each of the sites and has compiled and ranked priorities for each of the park sites based on community input and provided input on the City's 10 Year CIP. The commission identified the development of Williams Park and a splash pad as the top priorities.

Splash Pad Sample <https://www.youtube.com/watch?v=RYBTiTHy9-I>

The Commission has discussed hosting a public input meeting to get feedback from the community about the type of features and amenities that they would like to see as part of a splash pad.

Bew are some approximate costs of their proposed project.

Splash Pad/Base/Install	\$400,000
Site Work	\$213,575
Restroom Building	\$188,500
Engineering	\$56,000
Architecture Design	\$4,000
Electrical	\$35,000

The commission expressed support for working with the Wildridge Homeowners Association on conducting a survey of the neighborhood for improvements to Wildridge

Park. The Wildridge survey is planned to go live on July 1, 2024 with the plan to keep it open for 30 days.

City staff is looking to see if the commission would like to conduct similar surveys for each park.

Requested Action

To provide direction on the timeframe of the Wildridge survey and if other surveys should be conducted.

Voting Requirements:

Voting Options Simple Majority

Wildridge Park Survey

The City of North Branch is in the process of developing a strategic plan of all the city's parks, trails and open space facilities. The City is looking for community feedback and input through park user surveys to help accomplish this.

Wildridge Park Background

A master plan for Wildridge Park was developed in the early 2000's that included the development of: 2 soccer fields, a basketball court, shelter, playground area, walking paths and a parking lot. The playground, shelter, basketball court, walking paths, horseshoe pits, signage and outdoor skating rink with warming house and lighting have been installed. The outdoor ice skating rink and warming house were installed as with the understanding that they would need to be relocated with the future construction of a parking area. Below is an image of the master plan.

Master Plan Wildridge Park City of North Branch, Minnesota

Prepared by:
BRAUER & ASSOCIATES, LTD.
Project #04-39
Date: 2-28-05



Sheet#
2

How many times per month have you visited Wildridge Park?

- Never
- 1 time per week
- 2 – 3 times per week
- 4 or more times per week

What amenities do you use when you visit Wildridge Park? (Please select all that apply to you)

- Playground
- Shelter
- Trails
- Basketball Court
- Ice Skating Rink

Horseshoe Pits

Other

Are there any additional amenities that you feel are strongly needed at Wildridge Park? (Please select all that apply to you)

Soccer Fields

Outdoor Fitness

Walking/Jogging Trails

Pickleball Courts

Dog Park

Info Signage/Kiosk

Spray Pad

Other

If members of your family seldom or do not use Wildridge park, what are the reasons?

Don't have desired features

Don't feel safe

Disability or Age

Other

The City has identified a splash pad as one of the top priorities for a future park improvement within the city. Would you rather have the city look into 2 or more smaller spray pad features located throughout the city, or 1 large splash pad centrally located?

1 large splash pad with changing room

2 or more spray pads

Please provide any additional comments or suggestions for Wildridge Park:

Please provide any additional comments or suggestions for other North Branch Park and Trail Improvements/Suggestions:

