



# NORTH BRANCH

## —Minnesota—

Steve Cich  
Chair

Nathan Ehalt  
Commissioner

Ross Otto  
Commissioner

Gary Shaefer  
Commissioner

Open  
Commissioner

**PLANNING COMMISSION  
REGULAR AGENDA  
TUESDAY, JULY 1, 2025 @ 6:30 PM  
CITY HALL, 6408 ELM STREET, NORTH  
BRANCH, MN 55056**

1. CALL TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL
4. AGENDA APPROVAL
  - a. Approve Agenda ACTION
5. CONSENT AGENDA
  - a. Approval of June 3, 2025 Planning Commission Meeting Minutes ACTION
6. STAFF REPORTS
  - a. Public Hearing to consider a conditional use permit to allow for multiple principal buildings on one parcel for the Main Street Apartments ACTION
7. STAFF REPORTS
  - a. Design Standards INFO
  - b. Comprehensive Plan Update INFO
8. NEXT MEETING - August 5, 2025 - 6:30 PM
  - a. Upcoming Agenda Items INFO
9. ADJOURNMENT



**Prepared By: Ryan Saltis**

**Presenter: Nathan Sondrol, Community Development Director, Ryan Saltis**

**Date: 06/23/2025**

**Board & Commission: Planning Commission**

**Subject: Approval of June 3, 2025 Planning Commission Meeting Minutes**

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Approval of June 3, 2025 Planning Commission meeting minutes

**Voting Requirements:**

**Voting Options          Simple Majority**

PLANNING COMMISSION

REGULAR MEETING MINUTES

TUESDAY, JUNE 3, 2025 @ 6:30 PM

City Hall, 6408 Elm St., North Branch, MN 55056

Members Present: Steve Cich, Gary Shaeffer, Ross Otto, Nate Ehalt

Council Liaison Patrick Meacham, City Staff

Members Absent: None

1. CALL TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL

Members present: Cich, Otto, Schaefer, Ehalt, Council Liaison Meacham, along with City Staff and members of the public.

4. AGENDA APPROVAL

Member Cich asked Community Development Director Nate Sondrol if the item for the Main Street Apartments has been pushed back to the July 1<sup>st</sup> Planning Commission Meeting. Sondrol confirmed that the developer has asked City Staff to move the item to the upcoming July 1<sup>st</sup> meeting. Otto motions to approve the agenda with the modification to move the public hearing for the Main Street Apartments to the July 1<sup>st</sup> meeting, seconded by Member Schaefer. All aye 4-0, motion approved unanimously.

5. CONSENT AGENDA
  - a. Approval of May 6, 2025 Planning Commission Minutes

Member Schaefer motions to approve the minutes from the May 6, 2025 Planning Commission Meeting, seconded by Member Otto. All aye 4-0, motion approved unanimously.

6. PUBLIC COMMENT

There were no public comments. Public comments were closed at 6:35 P.M.

7. PUBLIC HEARINGS
  - a. Public Hearing to consider a conditional use permit to allow for multiple principal buildings on one parcel for the Main Street Apartments

This item has been moved to the July 1<sup>st</sup> Planning Commission Meeting per request from the developer.

- b. Public Hearing to consider a Comprehensive Land Use Amendment and Rezoning from R-2 to R-3

City Planner Ryan Saltis presented the request for a Comprehensive Land Use Amendment and Rezoning from R-2 to R-3. The subject site is located on a vacant lot to the west of the Cherokee Place Townhomes and to the south of 400<sup>th</sup> Street. The vacant parcel is roughly 7 acres in size identifiable as PID 11.00359.30 and is owned by the North Branch Economic Development Authority. There has been interest in this parcel for apartment style housing which is currently not permitted in the R-2 Zoning District. A request has been made to change the guided land use as LUR-3 and to change the zoning to R-3. The R-3 District will allow for apartment style housing and change the density from 3-6 units per acre (in the R-2 District) to 6+ units per acre in the R-3. The R-3 District accommodates High Density development.

Public Hearing:

The Public Hearing was opened. Brenda VanElsberg a resident of 399<sup>th</sup> St began the public hearing. VanElsberg mentioned that the 14 single family homes on 399<sup>th</sup> had income requirements and was a 55+ community. She mentioned that apartments on this vacant lot are not harmonious with the surrounding single family houses and is inconsistent with the comprehensive plan. Traffic was also a concern with high density development and she expressed that it would be dangerous for surrounding residents. Crime, property values, light pollution were additional concerns mentioned. VanElsberg asked the Planning Commission to reject the proposal for the Land Use Amendment and Rezoning. Walt Anderson approached the podium for Public Comment. Walt expressed that the City should look at all development as a whole with what it does to a city. Walt mentioned that the city does not have official controls to regulate and guide zoning. The Public Comment was closed at 7:05 P.M.

Planning Commission Member Ehalt asked staff if the proposed interchange was known when the R-2 District was established. Sondrol said that the last comp plan update was in 2018 but the interchange was a part of the city's long-term goals. Ehalt asked when the Cherokee Place development was approved. Sondrol said around 2020 or 2021 was when the development was in place. Ehalt asked these questions to better understand the timeline of the land uses and what was known when residents moved in to the single family houses on 399<sup>th</sup>. Member Schaefer said that the interchange has been planned for many years. Sondrol mentioned that the city is in the process of acquiring the southwest corner of the proposed interchange but has been seeking funding to move this process along. Cich asked if the parcel was left as R-2, would the development be along 399<sup>th</sup> and 400<sup>th</sup>. Sondrol mentioned that access to the site would not be off of 400<sup>th</sup> St and would rather be along Fletcher Ave and/or 399<sup>th</sup> St. Sondrol mentioned the difference in density going from 3-6 units per acre in the R-2 to 6+ units in the R-3 District. Cich asked if this density would limit development by keeping the parcel R-2. Sondrol said that it would limit development from a density perspective. Sondrol also said that businesses in the industrial park have asked for separation from single family homes and this is why the designated R-3 land along 400<sup>th</sup> and Forest Blvd was rezoned in the past to industrial. The rezoning of the subject parcel would replace this lost R-3 designated land in this area. Cich also asked about the design and height requirements of R-3. Sondrol said that the max height is 50 feet for development in this designation.

The nearby apartments to the east of the subject site are an example of what could be built on the vacant parcel. Sondrol said that the housing study of the city concludes that the city is behind on rental unit numbers with a goal of 30% being designated as rentals. Currently the city is around 14% of its housing inventory being available for rent. The housing study also addresses that nearly 75% of residents lack the income needed to purchase a median value home. Ehalt asked if the EDA has been working with a developer interested in the site. Sondrol confirmed that there has been interest in the site but they haven't been provided with plans. Ehalt concluded that these are difficult decisions to make and that based on the information provided that the city may have to explore alternative sites or areas for high density development. Ehalt said that they should be respectful of what is already in place in the area and recommended denial of the denial of the rezoning and comp plan amendment. Cich agreed that he is thinking similarly and the city can look at alternative options through the comp plan amendment process. Ehalt asked if there is anything else that staff could provide that wasn't already in the agenda packets to consider. Sondrol mentioned that there are studies regarding concerns of property values decreasing with high density development and that there is not conclusive evidence of high density directly impacting surrounding property values. Property value concerns are mostly tied to instances of maintenance issues or blight. Ehalt agreed that it is tough to directly correlate concerns of crime, safety, and property values with high density residential and would not make these concerns part of the denial findings.

Ehalt made a motion to deny the Rezoning and Comprehensive Plan Amendment from R-2 to R-3. Otto seconded the motion to deny. Denial for the Rezoning and Comprehensive Plan Amendment passed 4-0 with a unanimous aye vote.

c. Public Hearing to consider a preliminary plat for Westside Commons 3<sup>rd</sup> Addition

City Planner Ryan Saltis presented the request for preliminary plat approval of Westside Commons 3<sup>rd</sup> Addition. The plat would subdivide the 27.91 acre parcel located adjacent to Highway 95 and Falcon Ave at PID 11.00399.05. This would create one new developable lot in the northeast corner of the parcel and the remaining land would be considered Outlot A. The purpose of the plat would support development of a restaurant and drive-thru for Culver's. The plat is required to meet lot standards of the B-Business Zoning District in which the new lot meets all minimum standards.

Cich mentioned that he likes the RV parking aspect of the concept plans. Staff mentioned that they will continue to work with developers for the site planning efforts once official plans have been submitted for review. Schaeffer asked what the street design and circulation would look like around the site. Sondrol said that access will be from Explorer Way, a proposed city dedicated road, which connects to 386<sup>th</sup> St and Falcon Ave. Additional streets for circulation on the entire site will be platted in the future. Cich asked if sidewalks would be proposed on both sides of Explorer Way. Sondrol said that there would be an internal sidewalk on the west of Explorer Way constructed with the development to the west. There is currently a trail/sidewalk along Falcon on the east of the subject site and the sidewalk would extend along the north of the site towards the west with this development.

Public Hearing:

Cich opened the public hearing for discussion on the item. Surrounding property owner Renee asked if there is still a plan for a senior housing community. Sondrol mentioned that there are continued efforts with developers for that community but the public hearing presented is only regarding the creation of the single lot for Culver's. Sondrol said that if Senior Housing is proposed, a separate public hearing meeting and notification will be sent out to nearby residents for plat approval. Walt Anderson made public comment regarding sidewalk locations and that it would make sense for them to be on the east side of the street so that pedestrians would not have to cross over an additional street to get to the future building. Walt asked staff how long the subject parcel has been zoned Business. Staff said that this site has been zoned business for decades. Public comment closed at 7:50 P.M.

Planning Commission Discussion:

Ehalt said that he has nothing to add since it meets lot minimums and is straight forward. Schaeffer questioned if the senior housing that was presented the previous year is proposed near the subject site or on this parcel. Sondrol confirmed that the proposal for senior housing was part of the subject site.

Cich made a motion to recommend approval to the City Council for the Preliminary Plat for Westside Commons 3<sup>rd</sup> Addition with conditions as stated within the packet. Ehalt seconded the motion for approval. Approval for the Preliminary Plat for Westside Commons 3<sup>rd</sup> Addition passed 4-0 with a unanimous aye vote.

8. REPORTS

a. Zoning Code Update

Community Development Director Sondrol went through items of the zoning code that staff has identified needing amendments. Sondrol asked that the Planning Commission Members provide feedback and insight for moving forward with these amendments.

Fence setbacks were discussed regarding the 30 foot sight triangle for corner lots. Staff believes that this can be reduced and that they suggest looking at other communities and how they deal with these corner lot setbacks. Sondrol showed an example of the corner setback impact in which homeowners would lose a major portion of their yard. Sondrol said that he will consult with the city engineer to determine acceptable sight lines for vehicles. Ehalt said that setbacks from curb lines make sense rather than property lines. Otto mentioned that 30 feet sounds excessive and encouraged staff to look further into acceptable sight line distance. Ehalt asked if these code item changes consistently come up and whether these would burden staff with other work at this time. Sondrol responded by saying that there has been a pattern of these concerns but staff will prioritize some items based on need to change immediately at upcoming Planning Commission Meetings. Schaeffer asked if the speed of roads would matter for the sight line setbacks. Sondrol said that it may factor into specific instances but would potentially be difficult to include different road classifications into the written code.

Accessory Structure setbacks currently require 10 feet from principal structures. Staff would like to allow the placement for these accessory structures to be closer to primary

structures (homes). Otto mentioned the fire code requirements would have to be looked at and has concerns from this standpoint if it was changed. Cich asked about setbacks from property lines. Sondrol said that for most residential areas it is 6 feet from property lines.

Shipping container allowance was discussed whether the city would consider including these as a permitted use in certain zoning districts of Public/Semi-Public, Industrial, or Agricultural. Additional requirements of screening would also be reviewed if approved to allow them in certain zoning districts.

Single Family Homes and Accessory Structure setbacks within the Central Business District were discussed. Currently there are zero lot lines for homes but accessory structures would have to be setback 6 feet. Cohesion for types of structures and setbacks will be looked at as part of the review.

Home Occupation Permits were discussed for having clear direction of when to bring in these permits for Planning Commission review and consideration. Ehalt asked how prior applications have been handled. Sondrol responded that typically they are reviewed administratively and would have to follow city code for these home occupations.

Kennel Licenses were discussed whether these should be considered a Conditional Use Permit or Interim Use Permit. The Kennel License section of City Code might need to be amended to include additional language. Licenses can be revoked immediately, but if they were considered a CUP or IUP, it would require review from Commissions.

The sign code was reviewed for meeting 30 foot sight lines, similar to the fence discussion. The sign code could use amendments to be more up to date with zoning district allowance and placement to provide greater leniency.

Other topics to look at in the future are design standards for buildings in certain zoning districts, parking commercial vehicles on residential driveways, accessory dwelling units, and short term rentals.

b. Comprehensive Plan Update

There was no discussion for Comprehensive Plan updates.

9. NEXT MEETING – July 1, 2025 – 6:30 PM

a. Upcoming Agenda Items

i. Main Street Apartments

ii. Text Amendments for inconsistency in zoning districts

10. ADJOURNMENT

Meeting was adjourned at 8:35 P.M.



**Prepared By: Nathan Sondrol, Community Development Director**

**Presenter: Nathan Sondrol, Community Development Director**

**Date: 06/23/2025**

**Board & Commission: Planning Commission**

**Subject: Public Hearing to consider a conditional use permit to allow for multiple principal buildings on one parcel for the Main Street Apartments**

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### **Applicants Request**

1. Conditional Use Permit approval for multiple principle buildings on one parcel for the Main Street Apartments

### **Overview / Background**

The 2.4 acre site is located along Main Street and is zoned and guided for the Central Business District. The site is rectangular in shape and is bordered on all four sides by public roads. Hwy 95 or Main Street is to the south and is the most visible side of the site given the traffic volumes on the street. The proposal is for a multi-family apartment project housed in four buildings with 8-units in each. The site plan has four buildings located in the four corners of the site with parking located in the central portion of the site. The application is for a conditional use permit to allow more than one principal structure on the site.

The site is relatively flat which creates some difficulty when installing new sanitary sewer and storm sewer. The high point is in the west central at 886' with the low points along the eastern property line. The building elevations present a 2-story rectangular building with 15% stone and the remainder metal siding. The landscape plan illustrates 32 trees along the perimeter of the site, equating to one tree per unit.

### **Attachments**

## **Issue(s) to Consider**

1. Land Use and Zoning
2. Development Overview
3. Conditional Use Permit

## **Analysis of Issue(s)**

### **1. Land Use & Zoning**

The property is zoned CBD, Central Business District and guided for LUCBD, which is Land Use Central Business District. The zoning ordinance permits apartments and also permits multi-family housing in the 7-16 units per acre density range. The proposed density of the site is 13.3 acres based upon 32 units on a 2.4 acre parcel.

The CBD zoning and comprehensive plan designation look for mixed use or commercial development, this site is more removed from the heart of the downtown area and is bordered primarily by single family residential development. There is some commercial development to the west, a funeral home which looks residential in character and a lower density office building to the south, which houses several smaller tenants. The office building is also residential in character, being one story with a pitched roof.

As noted, the comprehensive plan indicates that “new residential development should be part of a mixed use plan with a balance of housing and commercial uses within a single building or complex.” The Plan goes on to state that replacing single family homes with mixed use structures and redeveloping existing commercial buildings will help support a healthy business environment and allow more people to be able to walk to their destinations. The concept of mixed use is attractive since it brings both the commercial cities want and new residential, increasing the market for commercial uses. While it is understood that the City would like additional commercial mixes within the Downtown area, the location of this site is less downtown and more located within a mixed-use area, with more residential than commercial development. Because the site is deeper than just the frontage along Main Street, a residential use is more consistent with the immediately adjacent development pattern. There is residential development on all four sides of the site, with two non-residential buildings directly adjacent to the west and one across Main to the south.

Further, the economy and financial investors are less supportive of mixed use than previously. Lending institutions do not like the mix, and therefore the City may be in a better position to attract horizontal mixed use than vertical mixed use. Further, the traditional mixed use; three story buildings with commercial on the lower level and residential on the two higher floors, will mean that the project would be significantly larger in scale and height than the surrounding neighborhood development. It is reasonable to desire some commercial to continue to build out the downtown, although more cities are also focusing on bringing in more dense residential development to create additional markets for the downtown businesses, especially daytime

customers.

It is understood that the comprehensive plan indicates a preference for mixed use, but the zoning ordinance permits apartments and multi-family at the density proposed by the project as permitted uses.

## 2. Development Overview

### General Plan

The 2.4 acre rectangular site is currently vacant and is zoned and guided for Central Business Districts uses. The proposal is for four apartment buildings with 8 units in each. The project includes surface parking and access drives from the west and east. Stormwater ponding is located in the northeast and southeast. Utilities are available to the site and the developer will connect all four buildings to the municipal system.

The site is relatively flat, which creates some difficulty when installing new sanitary sewer and storm sewer. The high point is in the west central at 886' with the low points along the eastern property line. The building elevations present a building with predominately metal vertical siding which is much more residential in character than anticipated by the exterior materials requirements for the CBD zoning. Similarly, the landscape plan provides for 32 trees, the minimum expected for a site this open and highly visible to all four adjacent properties.

### Dimensional Standards

The developer appears to be meeting the CBD dimensional standards found in the Dimensional & Design Standards Table.

<b>Use</b>	<b>Ordinance Requirement (CBD)</b>	<b>Site Plan</b>
<b>Front-yard setback North</b>	0 ft	8 ft
<b>Front-yard setback South</b>	0 ft	56 ft
<b>Front-yard setback East</b>	0 ft	48 ft
<b>Front-yard setback West</b>	0 ft	48 ft
<b>Lot Width – corner lot – E to W</b>	25 ft	301 ft
<b>Lot Depth - minimum – N to S</b>	100 ft	350 ft
<b>Minimum Lot Size - sq ft</b>	2,500 sq ft	104,544 sq ft
<b>Building height - in ft</b>	50 ft	

<b>Impervious surface - maximum</b>	NA	54.7%
<b>Parking Setback</b>	5 ft	22 ft
<b>Parking Spaces-Minimum spaces</b>	64	88

Parking

The zoning ordinance requires 2 parking spaces per unit for a total of 64 parking stalls. Parking and access aisles must be setback at least 5’ from all property lines. The individual accesses to the site must be under 40’ in width.

Design Elements (Façade Materials)

The ordinance requires building elevations with type and color of building materials, typical floor plans, dimensions of all structures and location of exterior buildings and equipment. The site is located in Zone 1 which requires that “Structures must provide a cohesive architectural appearance reflecting its functional purpose and must be composed of at least 65% Class I materials and not more than 35% Class II materials. Class I materials consist of brick, natural stone, glass curtain wall, copper or other comparable materials. Class II includes concrete block, precast concrete panels, masonry stucco, fiber-cement exterior siding, EFIS, smooth and scored block, and other similar materials.

The applicant has provided building elevations which depict 14.4% of the building is doors and windows, 15% is stone and the remainder is siding. Shake shingle side is under the roofline with the majority of the building being vertical metal siding. It appears the stone wainscoting is approximately 3’ and also highlights the center of the north and south elevations, surrounding the main entrance when appropriate. The sides of the buildings, the east and west, do not have any additional stone besides the wainscoting. It is unclear if the percentages listed above are for the front elevations only as the sides of the structures have a significant amount of vertical metal siding.

In some instances, there could be some recognition other project attributes which would allow some reduction in the exterior materials requirements. However, in this instance the landscape plan and the site design do not provide any reason to vary from the current materials standards. As noted previously, this is a high visibility site both due to its location and lack of topography and the city is interested in having a project that sets the tone for future development and redevelopment in the downtown area. The lower quality building materials vary greatly from the ordinance criteria, and staff does not support the plan as proposed.

Landscape & Tree Preservation Plan

The tree preservation plan show the site contains 8 existing trees with 1 planned for removal. The site is a highly visible site in the downtown area and significant landscaping is desired for the site.

From a landscape perspective, the ordinance generally requires 1 tree per unit for multi-family development, which is what is proposed on the plan. The CBD district is not held to that

standard necessarily; and given the sites high visibility and lack of natural vegetation, staff is recommending additional landscaping above what is proposed by the applicant. The plan illustrates 32 overstory trees along the perimeter of the site, with 12 on the south side meaning a spacing of approximately 25'. The west side would be similar to the north side having 6 trees and the east having 3 due to the location of the drainage ponds. Based upon the notes on the landscape plan they all appear to be either red oak or white maples. The applicant should provide more vegetation over the entire site. There are no trees between buildings and nothing closer to any of the four structures. They do not show any landscaping around the buildings or a seed mix specifically for the drainage areas which could be vegetated more attractively than the present condition. This plan reflects the minimum expectation for plantings on the site and additional work is needed to elevate the site plan to be consistent with the goals of the comprehensive plan for the downtown.

#### Utilities

The project has all public utilities available to the site and the project density can be accommodated by the existing systems and capacities. Because the site lacks elevation there has been a lot of discussion about getting the proper grades on the pipes for operational reasons. The applicant has addressed those issues.

The site will meet stormwater requirements in part through installation of two infiltration basins in the northeast and southeast. These may also provide some opportunity of differing landscaping on the site.

#### Signage

The plans do not depict any signage for the site. The applicant shall obtain a permit prior to installation of any signage.

#### Parks, Trails and Open Space

The Parks, Trails and Open Space Commission will review this at their May 5, 2025 meeting and their recommendation will be provided at the meeting.

### **3. Conditional Use Permit**

Section 66-932 Building Restrictions requires a conditional use permit in the CBD District to permit more than one principal structure on a site. The proposed use of multi-family apartments on the site, located within four different buildings, prompts the need for approval of a conditional use permit. There are ten findings of fact the City must find to consider when granting a conditional use permit. The City Council is not limited to these 10:

1. Relationship to the city's comprehensive plan;
2. The geographical area involved;
3. The character of the surrounding area;
4. The availability and design capacities of existing or proposed utilities;
5. Whether such a request will tend to or actually depreciate the surrounding area;
6. Whether the request will place an undue financial burden on the city;

7. Whether the request will impair an adequate supply of light and air to adjacent property;
8. Whether the request will unreasonably increase the congestion in the public right-of-way;
9. Whether the request will increase the danger of fire or endanger the public safety;
10. Whether the request is consistent with the spirit and intent of this division.

There are 13 conditions of approval that may be considered when approving a conditional use permit. The City Council is not limited to these 13 standards which are found in the ordinance:

1. The land area and setback requirements of the property containing such a use or activity shall be the minimum established for the district;
2. When abutting a residential use in a residential district, the property shall be screened and landscaped in compliance with section 66-970 et seq.;
3. Where applicable, all city, state and federal laws, regulations and ordinances shall be complied with and all necessary permits secured;
4. All signs shall be in compliance with section 66-821 et seq. and shall not adversely impact adjoining or surrounding residential uses;
5. Adequate off-street parking and loading shall be provided in accordance with section 66-848 et seq. Such parking and loading shall be screened and landscaped from abutting residential uses in compliance with section 66-970 et seq.;
6. The proposed water, sewer and other utilities shall be capable of accommodating the proposed use;
7. The street serving the use or activity is of sufficient design to accommodate the proposed use or activity, and such use or activity shall not generate such additional traffic to create a nuisance or hazard to existing traffic or to surrounding land uses;
8. All access roads, driveways, parking areas, and outside storage, service, or sales areas shall be surfaced or grassed to control dust and drainage;
9. All open and outdoor storage, sales and service areas shall be screened from view from the public streets and from abutting residential uses or districts;
10. All lighting shall be designed as to have no direct source of light visible from adjacent residential areas or from the public streets;
11. The use or activity shall be properly drained to control surface water runoff;
12. The architectural appearance and functional plan of the building and site shall not be so dissimilar to the existing buildings or area as to cause impairment in property values or constitute a blighting influence;
13. Where structures combine residential and nonresidential uses, such uses shall be separated and provided with individual outside access, and the uses shall not conflict in any manner.

### **Updated Information**

The Planning Commission held a public hearing on May 6, 2025, and obtained public input at that meeting. The Planning Commission considered the request and recommended tabling the request to the June 3, 2025, meeting to allow the developer to address meeting the design standards. The developer agreed to extend the request out to July 1, 2025.

The developer has provided a revised landscaping plan to address screening along the east side of the site. along with revised building and architectural plans to meet the city design standards.

**Planning Commission Action**

After the public hearing and discussion, the Planning Commission could take one of the following actions:

- 1. Recommend approval with the conditions and findings of fact.
- 2. Recommend denial with findings of fact.

**Attachments**

- 1. Main Street Townhomes Civil Plans
- 2. Building Color Renderings

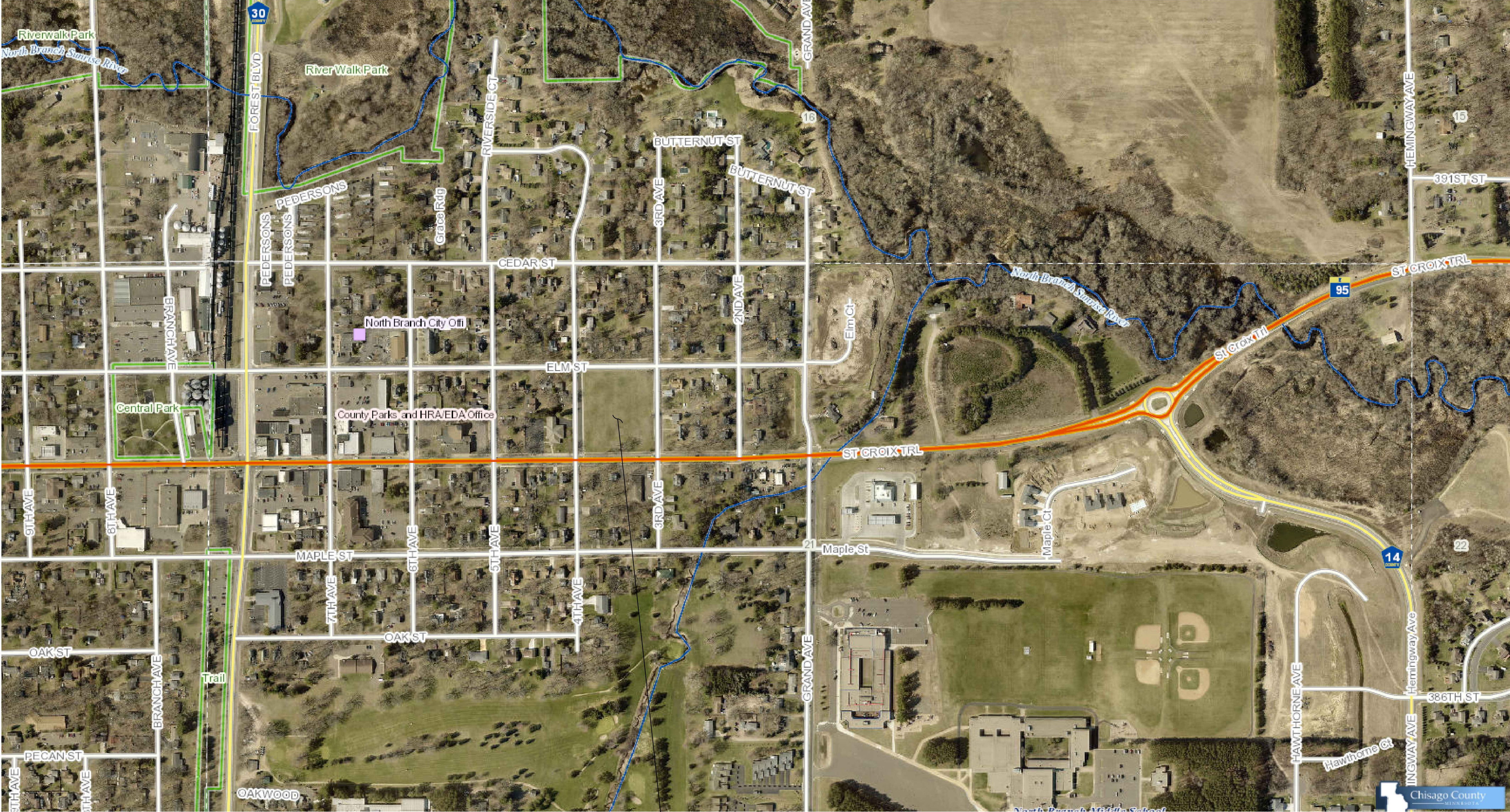
**Voting Requirements:**

**Voting Options            Simple Majority**

# MAIN STREET APARTMENTS

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRELIMINARY  
 KRYSTLE L. BLOCH 49893  
 5-26-2025 DATE LIC. NO.



PROJECT AREA

## SHEET INDEX

- 1 - TITLE SHEET
- 2 - EXISTING CONDITIONS AND REMOVALS PLAN
- 3 - SITE PLAN
- 4 - GRADING AND EROSION CONTROL PLAN
- 5 - UTILITY PLAN
- 6-8 - STANDARD DETAILS
- 9-10 - STORMWATER POLLUTION PREVENTION PLAN
- 11 - LANDSCAPE PLAN

**DEVELOPER:**  
 TOMMY FOSTER  
 BIGFORK VALLEY LOG CABINS LLC  
 NORTHWOODS DEVELOPMENT GROUP LLC  
 1275 WEST 4TH ST  
 RUSH CITY, MN  
 (612) 290-3828

**ENGINEER:**  
 KRYSTLE BLOCH, P.E. (MN 49893)  
 BLOCH ENGINEERING, PLLC  
 32210 XEON ST NW  
 CAMBRIDGE MN 55008  
 (507) 995-2981

**SURVEYOR:**  
 JOSHUA P. SCHNEIDER, PLS  
 9140 BALTIMORE ST NE, STE 100  
 BLAINE, MN 55449  
 (763) 238-6278

**ZONING:**  
 THE PROPERTY IS CURRENTLY ZONED FOR THE FOLLOWING: RESIDENTIAL

GOVERNING STANDARDS: COUNTY OF CHISAGO STANDARDS, CITY OF NORTH BRANCH STANDARD CONTRACT DOCUMENTS AND TECHNICAL SPECIFICATIONS FOR UTILITY AND STREET CONSTRUCTION, 2018 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION", LATEST VERSION OF THE "MINNESOTA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MMUTCD)

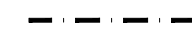
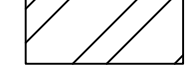
**UTILITIES:**  
GOPHER STATE ONE CALL  
 (651) 454-0002  
 gopherstateonecall.org

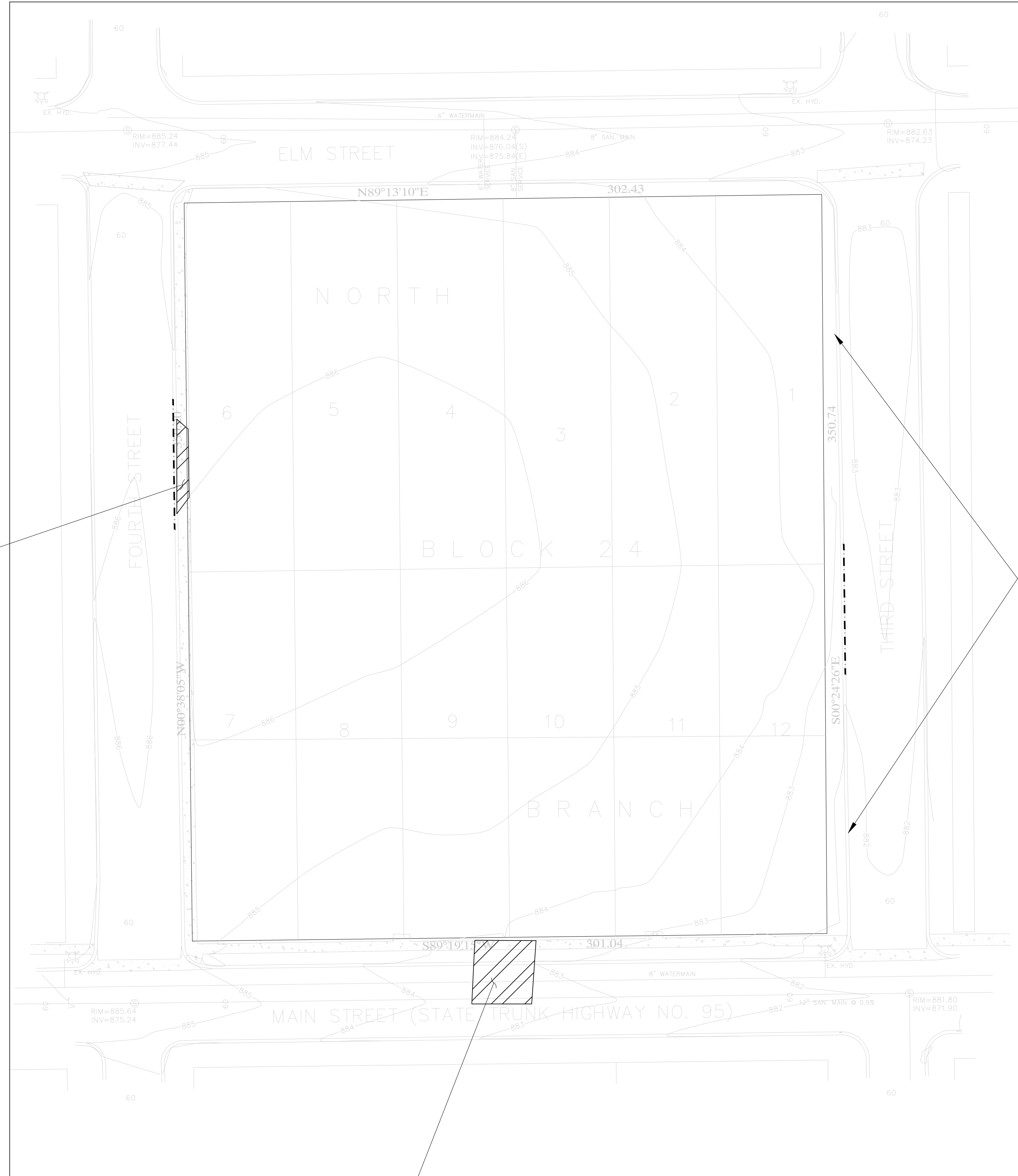
THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 3-2, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."  
 CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS PRIOR TO COMMENCING CONSTRUCTION AS REQUIRED BY STATE LAW. GSOC INFORMATION ABOVE.

MAIN STREET APARTMENTS  
 OWNER: TOMMY FOSTER  
 1275 WEST 4TH ST, RUSH CITY, MN

REVISIONS	NO.	DATE	DESCRIPTION

LEGEND

-  CURB REMOVAL
-  PAVEMENT OR SIDEWALK REMOVAL



REMOVE WALK FOR NEW ENTRANCE

REPLACE ENTIRE LENGTH OF DEPRESSED CURB ALONG EAST CURBLINE WITH B618 (CONFIRM THIS MATCHES EXISTING), EXCEPT IN LOCATION OF NEW ENTRANCE.

REMOVE AND REPLACE WALK AND PAVEMENT FOR UTILITY CONNECTIONS

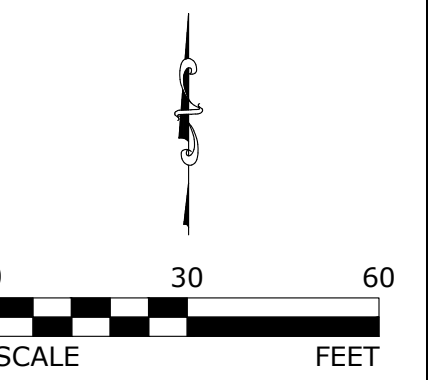
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRELIMINARY  
 KRISTLE L. BLOCH 49893  
 5-26-2025 DATE LIC. NO.



MAIN STREET APARTMENTS  
 OWNER: TOMMY FOSTER  
 1275 WEST 4TH ST, RUSH CITY, MN

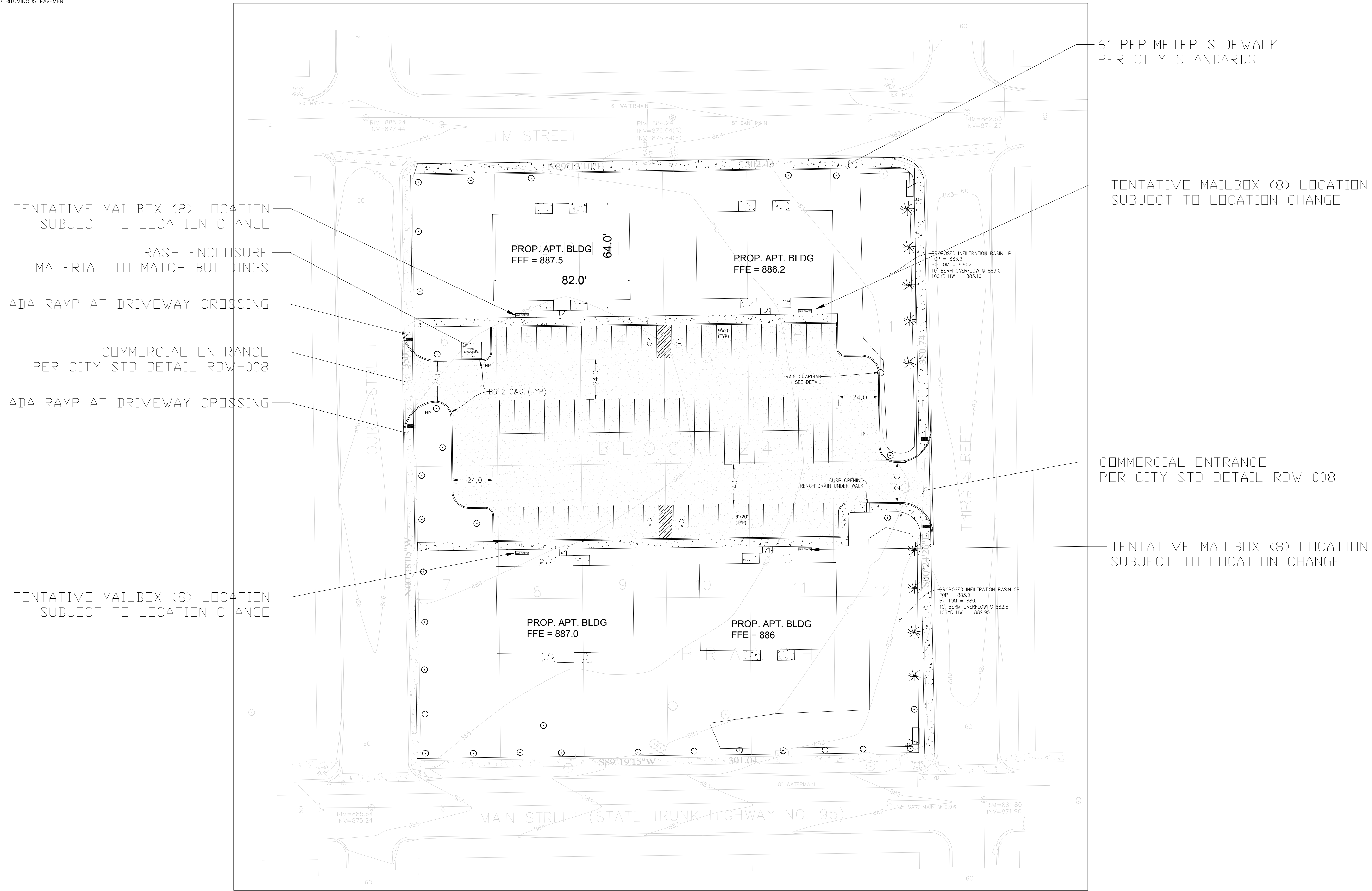
**EXISTING CONDITIONS AND REMOVALS PLAN**

REVISIONS NO.	DATE	BY	DESCRIPTION



**LEGEND**

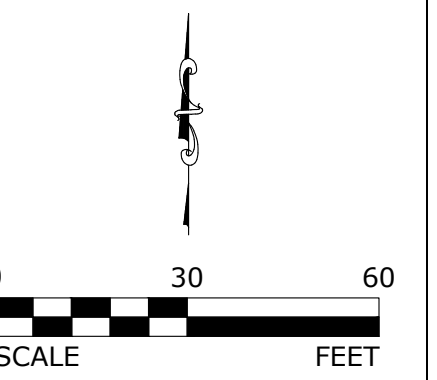
-  PROPOSED B618 CURB AND GUTTER
-  PROPOSED BITUMINOUS PAVEMENT



MAIN STREET APARTMENTS  
OWNER: TOMMY FOSTER  
1275 WEST 4TH ST., RUSH CITY, MN

**SITE PLAN**

REVISIONS	NO.	DATE	BY	DESCRIPTION













# STORM WATER POLLUTION PREVENTION PLAN (SWPPP)

## PROJECT DESCRIPTION:

The existing site is a total of 2.4 acres, which will be regraded as part of this current project. Runoff from this site is routed to proposed infiltration ponds. Grading, infiltration, and paving will be installed as part of this project along with building construction.

## SWPPP IMPLEMENTATION

The Project Engineer and the Contractor are responsible for implementation of the SWPPP and the installation, inspection, and maintenance of the erosion prevention and sediment control BMPs before and during construction. The Contractor will have an Erosion Control Supervisor who is responsible for coordinating the erosion prevention and sediment control BMPs.

## PROJECT CONTACT IMPLEMENTATION/MAINTENANCE:

Erosion and Sediment Control, BMP Inspection Performed By:  
 Individual contact TBD  
 Erosion Works  
 Elk River, MN  
 763-262-7458

Long Term Pond Maintenance Provided By:  
 Bigfork Valley Log Cabins, LLC

## TIMING OF BMP INSTALLATION

The erosion prevention and sediment control BMPs shall be installed as necessary to minimize erosion from disturbed surfaces and capture sediment on site.

- Erosion and sediment control BMPs must be installed prior to the start of construction.
- Where applicable, disturbed areas will immediately be temporarily stabilized prior to permanent turf establishment whenever construction ceases for 7 days, with special consideration of areas within 200 feet continuous positive slope of a surface water.
- Temporary or permanent energy dissipation shall be placed at pipe outlets within 24 hours after connection to a surface water.
- Temporary stabilization of stockpiles must be initiated immediately to limit soil erosion whenever any construction activity has permanently ceased on any portion of the site and will not resume for a period exceeding 7 calendar days.
- Planned slopes of 1:3 (V:H) or steeper and greater than 75 ft. in length will be temporarily or permanently stabilized in increments not to exceed 75 ft., prior to constructing or disturbing a new increment.
- BMPs must remain in place until final stabilization is achieved and permit NOT has been submitted to the MPCA.
- The normal wetted perimeter of any temporary or permanent drainage ditch or swale that drains water from any portion of the construction site, or diverts around the site, must be stabilized within 200 lineal feet from the property edge, or from the point of discharge into any surface water. Stabilization of the last 200 lineal feet must be completed within 24 hours after connecting to a surface water.

## CALCULATIONS:

Total Area of Grading = 2.4 Ac  
 Total Existing Impervious = 0 Square Feet  
 Total New Impervious = 51250 Square Feet  
 WATER QUALITY VOLUME = (1")(1'/12")(51250 SF) = 4271 CF

## SOIL TYPES:

Majority A Soils (Web Soil Survey)

## EROSION CONTROL QUANTITIES:

EROSION CONTROL QUANTITIES		
	UNIT	QUANTITY
SILT FENCE	EACH	1300
TEMP. CONSTRUCTION EXIT	EACH	1
SEED	ACRE	2.40
MULCH	TON	5

APPLICATION RATES:  
 SEED TYPE 25-151 @ 120 LB/AC  
 MULCH TYPE 1 @ 2 TON/AC

## CONSTRUCTION SEQUENCE:

Construction to begin spring 2025. Silt fence around where specified and Rock entrances to be installed before any of the following scheduled events take place. Existing structures shall also be protected from sediment from the start of construction.

- Grading
- Install Utilities
- Building Construction
- Infiltration basin(s) constructed
- Landscaping and Turf Restoration

Construction completion expected Fall 2025. All temporary erosion control measures will be removed and disposed of according to MPCA requirements. Final stabilization will be established.

If construction is not completed before winter, stockpiles and any slopes must be stabilized with appropriate BMPs (mulch, seed, erosion control blanket) as applicable to avoid erosion in the following spring season.

See NPDES CWS Permit Part 11 for inspection frequency adjustments throughout the course of scheduled construction.

## IMPAIRED AND SPECIAL WATERS

The Sunrise River is within one mile of discharge point, and has impairments for the following: Fecal Coliform, Fishes Bioassessments, Mercury in Fish Tissue.

## KARST AREA PROTECTION:

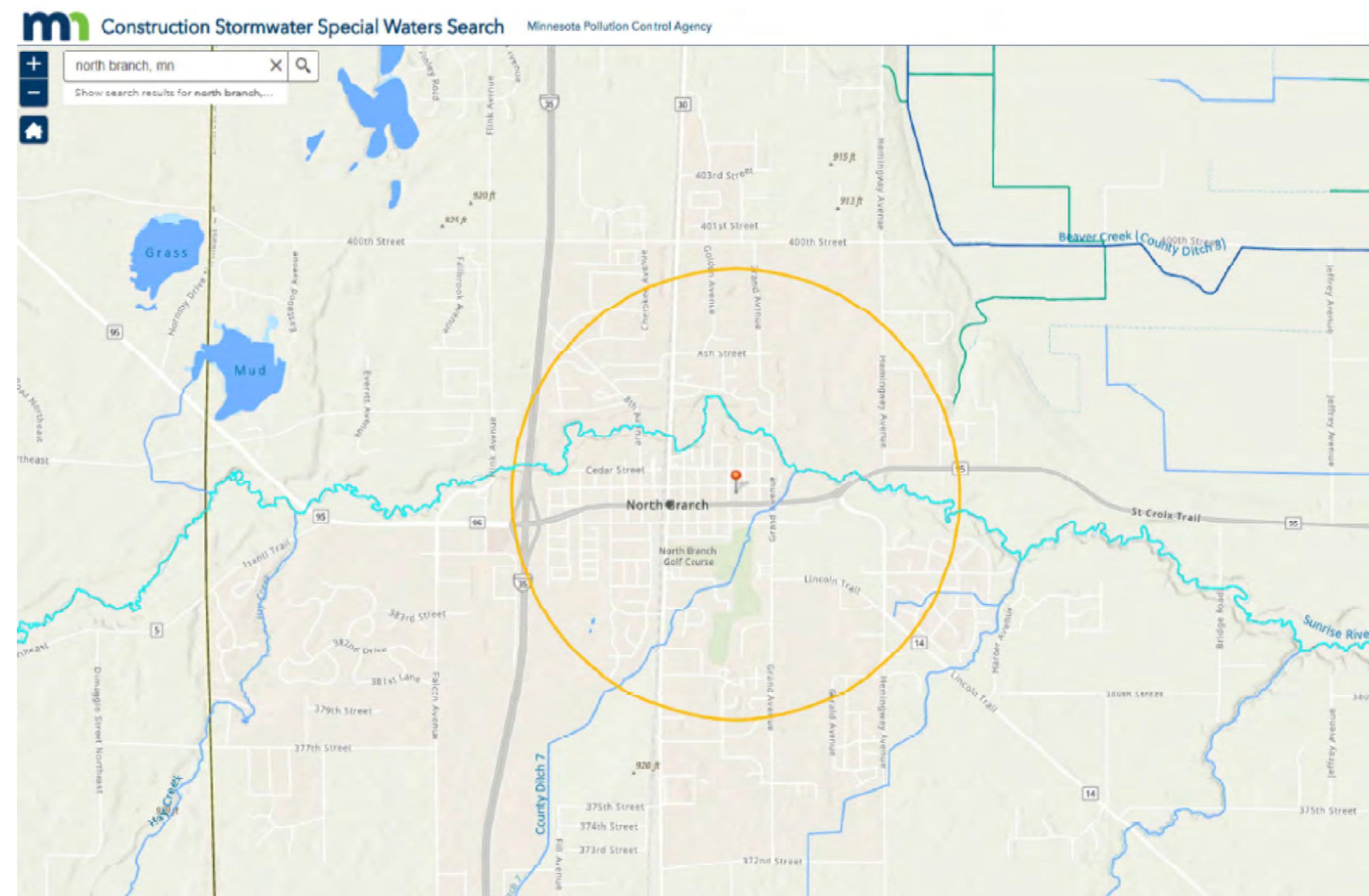
This area is not considered Karst area.

## CALCAREOUS FENS:

No calcareous Fen sites exist on this project.

## MITIGATION DUE TO REVIEWS:

There are no stormwater mitigation measures proposed as part of environmental, endangered species, archaeological or other required local, state or federal reviews conducted for the project.



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 PRELIMINARY  
 KRISTLE L. BLOCH  
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MAIN STREET APARTMENTS  
 OWNER: TOMMY FOSTER  
 1275 WEST 4TH ST., RUSH CITY, MN  
**STORMWATER POLLUTION PREV. PLAN**  
**SWPPP**

REVISIONS	
NO. DATE	DESCRIPTION

SHEET C9 SHEETS 11

# STORM WATER POLLUTION PREVENTION PLAN (SWPPP)

## CONSTRUCTION NOTES:

Construction shall be in accordance with the MPCA NPDES General Stormwater Permit for construction activity, plans, Mn/DOT Spec. Book, Standard Specifications for Construction and the special provisions. The Contractor shall maintain a stockpile of erosion control devices at all times for immediate usage. The Contractor shall keep the inspection and maintenance log. See permit Part 20 for SWPPP record retention requirements. SWPPP must be kept on site during construction by permittee who has operational control of that portion of the site. In the event of accidental sediment or pollutant discharge, the City, MPCA local contact and/or State Duty Officer shall be notified. The MPCA State Duty Officer can be reached at (800) 422-0798.

## TRAINING REQUIREMENTS:

1. The Permittee(s) shall ensure the individuals identified in this part have been trained in accordance with the NPDES CSW Permit's training requirements. The Permittee(s) shall ensure the training is recorded in or with the SWPPP before the start of construction or as soon as the personnel for the project have been determined.
  - a. Who must be trained:
    - i. Individual(s) preparing the SWPPP for the project.
    - ii. Individual(s) overseeing implementation of, revising, and amending the SWPPP and individual(s) performing inspections. One of these individual(s) must be available for an on site inspection within 72 hours upon request by the MPCA.
    - iii. Individual(s) performing or supervising the installation, maintenance, and repair of BMPs. At least one individual on a project must be trained in these job duties.
  - b. Training content. The content and extent of training must be commensurate with the individual's job duties and responsibilities with regard to activities covered under this permit for the project. At least one individual present on the permitted project site (or available to the project site in 72 hours) must be trained in the job duties described in Permit Part 20.
  - c. Training documentation:
    - i. Documentation must be recorded with the SWPPP prior to the start of construction.
    - ii. Names of the personnel associated with this project that are required to be trained per Part III.F of this permit.
    - iii. Dates of training and name of instructor(s) and entity providing training.
    - iv. Content of training course or workshop (including number of hours of training).
  - d. The Permittee(s) shall ensure that the individuals are trained by local, state, federal agencies, professional organizations, or other entities with expertise in erosion prevention, sediment control or permanent stormwater management such as the University of Minnesota, Minnesota Erosion Control Association, Soil and Water Conservation Districts or the MPCA.

## EROSION PREVENTION MEASURES:

1. Temporary or permanent stabilization of exposed soils, including stockpiles, shall be initiated immediately to limit soil erosion whenever any construction activity has temporarily or permanently ceased on that portion of the site and will not resume for a period exceeding 7 calendar days. (Permit Part 8.4 and 23.9).
2. The normal wetted perimeter of any temporary or permanent drainage ditch or swale that drains water for any portion of the construction site, within 200 lineal feet, must be completed within 24 hours after connecting to a surface water or property edge. Mulch, hydromulch, tackifier, polyacrylamide, or similar practice is not acceptable stabilization in any part of a drainage ditch or swale with continuous slop greater than 2%. (Permit Part 8.6-8.8).
3. Use check dams along length of conveyance channels. (Permit Part 8.7).
4. Temporary or permanent energy dissipation devices must be installed at pipe outlets within 24 hours after connection to a surface water.
5. Temporary or permanent ditches or swales that are being used as a sediment containment system during construction must be stabilized within 24 hours after no longer being used as a sediment containment system.

## SEDIMENT CONTROL MEASURES:

1. In order to maintain sheet flow and minimize rills and/or gullies, there shall be no unbroken slope length of greater than 75 feet for slopes with a grade of 1:3 or steeper.
2. Sediment control practices must be established on all down gradient perimeters and upgradient of any buffer zones. These practices shall remain in place until final stabilization has been achieved and the Permit NOT form has been submitted to the MPCA.
3. Temporary soil stockpiles must have silt fence or other effective sediment controls, and cannot be placed in surface waters, including stormwater conveyances such as curb and gutter systems, or conduits and ditches unless there is a bypass in place for the stormwater.
4. Vehicle tracking of sediment from the construction site (or onto streets within the site) must be minimized by Best Management Practices (BMPs) such as stone pads, concrete or steel wash racks, or equivalent systems. Tracked sediment onto paved surfaces must be removed daily, at minimum.
5. Per Part 9.3, if down gradient sediment controls are overloaded, additional upgradient sediment control practices or redundant BMPs to eliminate overloading must be installed, and the SWPPP must be amended.
6. See permit 9.6 and Part 11 for instructions on re-installation of sediment control practices after they've been adjusted.
7. See permit Part 9.7 and 9.8 for instructions on the removal of storm drain inlet protection BMPs.
8. Direct discharges from BMPs to vegetated areas, unless infeasible.
9. Water discharged to infiltration shall be pre-treated in the form of ponds, forebays, filter strips, etc.

## DEWATERING AND BASIN DRAINING:

1. If dewatering is required on the site, there must be a plan in place to prevent nuisance conditions, erosion and inundation of wetlands.
2. If using filters with backwash water, backwash water must be hauled away for disposal, returned to the beginning of the treatment process, or incorporated into the site in a manner that does not erode into runoff.

## THE DESCRIPTION OF INSPECTIONS AND MAINTENANCE:

1. The Permittee(s) (either the owner or operator, whoever is identified in the SWPPP) must routinely inspect the entire construction site at least once every seven (7) days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours.

## INSPECTION AND MAINTENANCE REQUIREMENTS MUST INCLUDE:

- Date and time of inspections. All inspections and maintenance conducted during construction shall be recorded within 24 hours in writing and these records must be retained in the SWPPP
- Name of person(s) conducting inspections.
- Findings of inspections, including specific locations where there are recommendations for corrective actions.
- Corrective actions taken (including dates, times, and party completing maintenance activities).
- Date and amount of all rainfall events greater than 1/2 inch (0.5 inches) in 24 hours. Rainfall amounts must be obtained by a properly maintained rain gauge onsite, a weather station within 1 mile of the project location, or a weather reporting system that provides site specific rainfall data from radar summaries.
- See permit Part 6.1-6.4 for amendments to SWPPP.
- Construction site vehicle exit locations must be inspected for evidence of off-site sediment tracking onto paved surfaces. Tracked sediment must be removed from all paved surfaces within 24 hours of discovery (NPDES CSW Permit Part 9.12).
- Infiltration and Bioretention facility must be inspected for sedimentation.
- Discharges discovered during inspections shall be documented per NPDES CSW Permit part 11.11.f

## MAINTENANCE PERFORMANCE:

1. All nonfunctional BMPs must be repaired, replaced, or supplemented with functional BMPs by the end of the next business day after discovery, or as soon as field conditions allow access unless another time frame is specified that is not less restrictive than permit requirements. See permit Part 11.4 for specific requirements.
2. Perimeter control devices must be repaired, replaced, or supplemented when nonfunctional or sediment reaches on-half the height of the device.
3. Temporary and permanent sediment basins must be drained and sediment removed when the depth of sediment collected reaches on-half storage volume
4. All sediment deposits and deltas must be removed from surface waters (including drainage ways, catch basins, and other drainage systems) and the removal areas restabilized within 7 days.
5. Permanent stormwater treatment BMPs must be inspected and maintained per NPDES CSW Permit 11.3
6. Final inspection and maintenance of storm sewer shall include cleaning of any sediment accumulation in system.

## POLLUTION PREVENTION MANAGEMENT:

1. Solid Waste: Sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction and demolition debris and other wastes must be properly collected, stored, and disposed of in accordance with Minn. R.ch.7035. This includes any materials used for erosion control.
2. Hazardous and Toxic Materials: Includes, but is not limited to: Oil, gasoline, paint and any hazardous substances must be properly stored, including secondary containment, to prevent spills, leaks or other discharge. Restricted access to storage areas must be provided to prevent vandalism. Storage and disposal of hazardous waste must be in accordance with Minn.R.Ch.7045
3. External washing of trucks and other construction vehicles must be limited to a defined area of the site. Runoff must be contained and waste properly disposed of.
4. No engine degreasing is allowed on site.
5. Concrete washout onsite: All liquid and solid wastes generated by concrete washout operations must be contained in a leak-proof containment facility or impermeable liner. A compacted clay liner that does not allow washout liquids to enter ground water is considered an impermeable liner. The liquid and solid wastes must not contact the ground, and there must not be runoff from the concrete washout operations or areas. Liquid and solid wastes must be disposed of properly and in compliance with MPCA regulations. A sign must be installed adjacent to each washout facility to inform concrete equipment operators to utilize the proper facilities.
7. Building products that have the potential to leach pollutants must be under cover. (NPDES CSW Permit Part 12.2)
8. Pesticides, herbicides, insecticides, fertilizers, treatment chemicals, and landscaped materials must be under cover. (NPDES Permit Part 12.3).
9. Portable toilets must be positioned so that they are secure and will no be tipped or knocked over. Sanitary waste must be disposed of properly in accordance with Minn.R.ch.7041. (NPDES CSW Permit Part 12.6)
10. Spill Prevention and Response Requirements: Adequate supplies must be available at all times to clean up discharged materials and an appropriate method must be available for recovered spilled materials. Spills must be reported and cleaned up immediately as required by Minn. Stat. 115.061 using dry cleanup measures where possible.

## FINAL STABILIZATION:

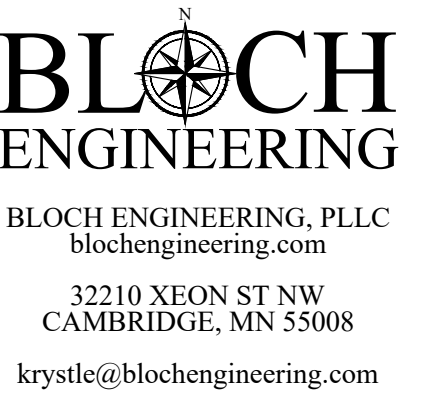
1. Permanent stabilization of exposed soils, including stockpiles, shall be initiated immediately to limit soil erosion whenever any construction activity has permanently ceased on any portion of the site and will not resume for a period exceeding 7 calendar days.
2. The permanent stormwater treatment system must be constructed, meet all requirements, and operating as designed.
3. All sediment must be removed from permanent stormwater management system and conveyance systems.
4. All temporary synthetic erosion prevention and sediment control BMPs must be removed.
5. See Landscape sheets for turf establishment.
6. Final stabilization is achieved by a uniform perennial vegetative cover with a density of 70% of expected growth over the entire pervious area.

## DISCHARGE TO WETLANDS:

1. If there is a wetland impact caused by filling, draining, excavation or inundation, how has that impact been addressed by permits or other approvals from an official statewide program (U.S. Army Corps of Engineers 404 program, Minnesota Department of Natural Resources, or the State of Minnesota Wetland Conservation Act)? If the impact is considered exempted or non jurisdictional by these programs, how is the impact in conformance with the sequence mitigation requirements of MPCA water quality standards in MN Rule 7050.0186 <<https://www.revisor.leg.state.mn.us/rules/?id=7050.0186>>

## MISCELLANEOUS:

1. Conventional erosion and sediment control to be used. If necessary to use chemical treatment, permittee must follow guidelines as stated in NPDES Permit Part 9.18
2. No Site assessment for groundwater or soil contamination required.



JOB NO. 24-02

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PRELIMINARY  
KRISTLE L. BLOCH  
5-26-2025  
49893  
DATE LIC. NO.



MAIN STREET APARTMENTS  
OWNER: TOMMY FOSTER  
1275 WEST 4TH ST, RUSH CITY, MN

**STORMWATER POLLUTION PREV. PLAN  
SWPPP**

REVISIONS	NO.	DATE	BY	DESCRIPTION						

SHEET C10 SHEETS 11

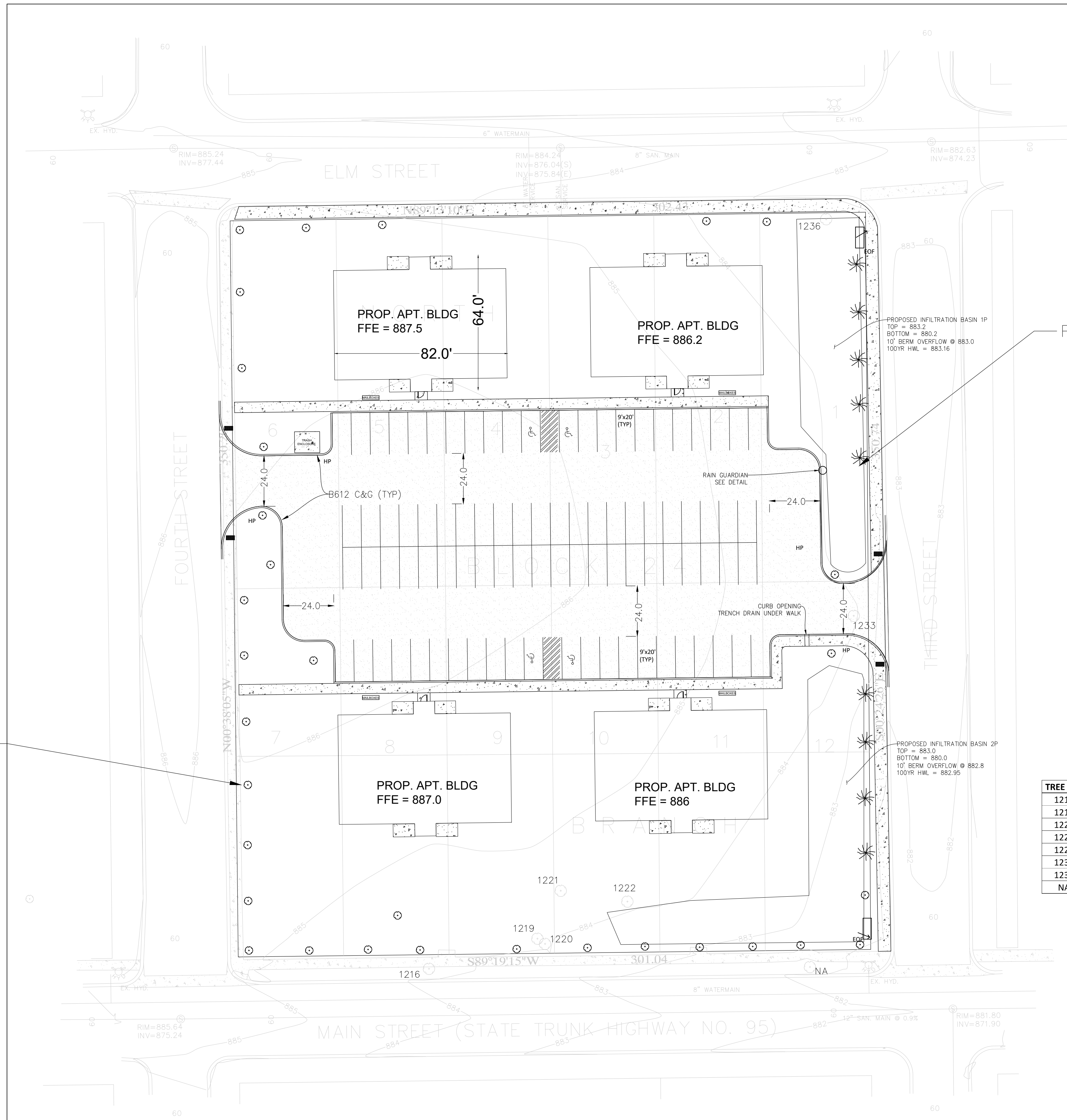
**LEGEND**

-  PROPOSED B618 CURB AND GUTTER
-  PROPOSED BITUMINOUS PAVEMENT

JOB NO. 24-02

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- EROSION CONTROL NOTES:**
1. ALL DISTURBED AREAS TO BE SEEDED AND MULCHED. 4IN MIN TOPSOIL, EXCEPT IN RIGHT OF WAY. RIGHT OF WAY TO BE SODDED.
  2. MULCH TYPE 1 (DISK ANCHORED) IN DISTURBED AREAS
  3. SEED MNDOT TYPE 35-221, AT A RATE OF 36.5 LB/AC
  4. ALL SLOPES STEEPER THAN 4:1, SHALL BE RESTORED WITH SEED AND PROTECTED WITH EROSION CONTROL BLANKET PER MNDOT SPEC. 3885.1 OR SODDED AND STAKED.

PROPOSED CONIFEROUS TREE (TYP.)

- TREE PLANTING NOTES**
1. TREE LOCATION SUBJECT TO CHANGE TO AVOID UTILITY CONFLICT.
  2. ALTERNATE RED OAK AND WHITE MAPLE TREES OR SIMILAR SPECIES. VERIFY SPECIES WITH CITY.

**MINIMUM SIZE OF PLANTINGS**  
 OVERSTORY DECIDUOUS: 2" CALIPER  
 CONIFEROUS: 6FT IN HEIGHT  
 ORNAMENTAL TREES: 1.5" CALIPER

**PLANTING NUMBER REQUIREMENTS:**  
 TOTAL BUILDING UNITS = 32  
 TOTAL TREE REQUIREMENT = ONE OVERSTORY TREE PER UNIT = 32 TREES

TREE NO.	TYPE	DIA. (IN)	KEEP/REMOVE	NOTES
1216	ASH	16	KEEP	IN MAIN ST ROW
1219	OAK	15	KEEP	
1220	OAK	17	KEEP	
1221	OAK	29	KEEP	
1222	OAK	22	KEEP	PROTECT ROOTS IN INFIL. POND EXCAVATION
1233	OAK	22	REMOVE	DEAD
1236	OAK	25	KEEP	PROTECT ROOTS IN INFIL. POND EXCAVATION
NA	OAK?	?	KEEP	IN MAIN ST ROW - SIDEWALK BUILT AROUND IT

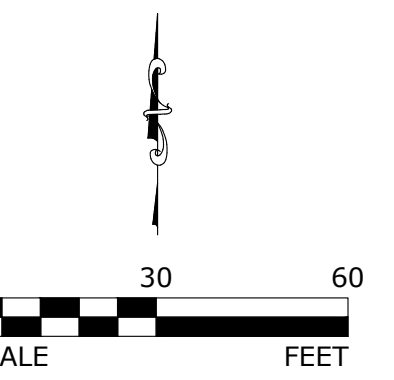
PROPOSED OVERSTORY TREE (TYP.)

MAIN STREET APARTMENTS  
 OWNER: TOMMY FOSTER  
 1275 WEST 4TH ST, RUSH CITY, MN

**LANDSCAPE AND TREE PRESERVATION PLAN**

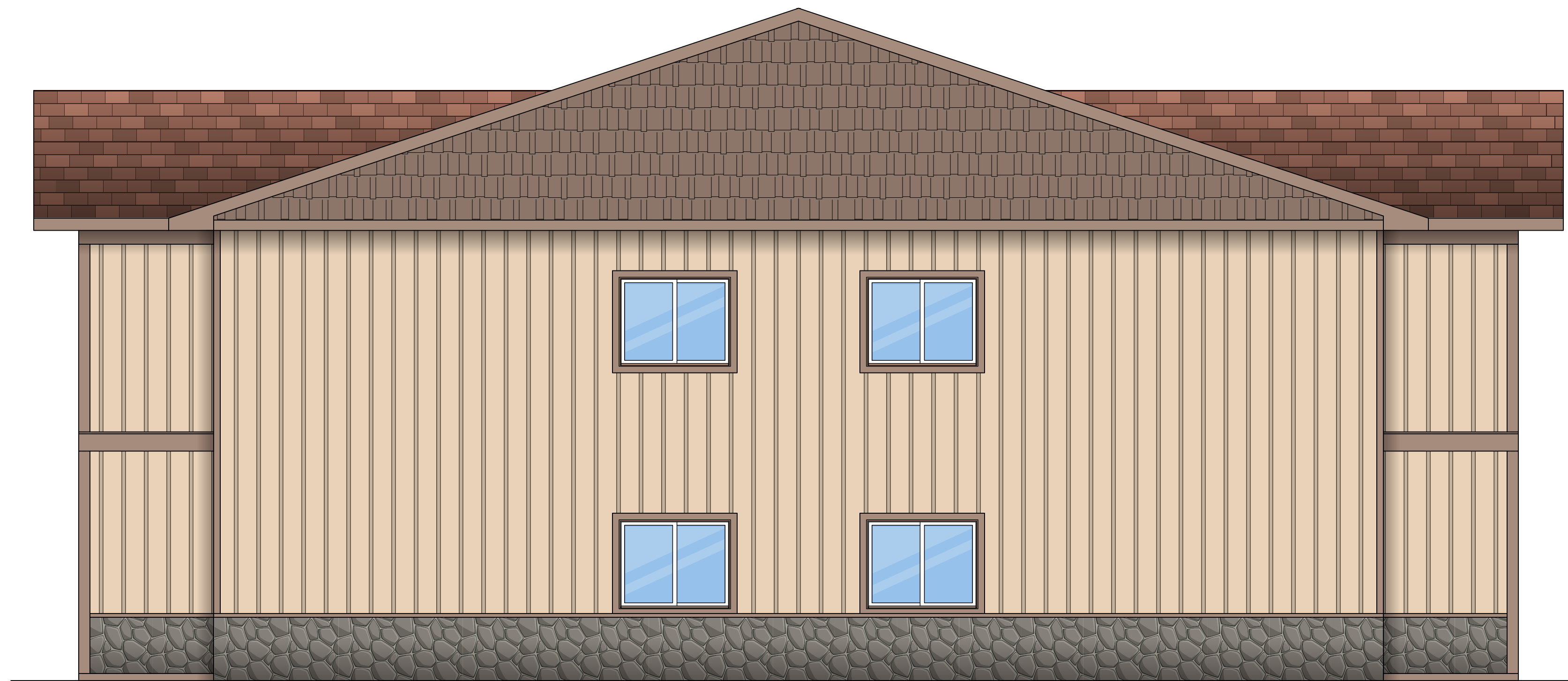
REVISIONS

NO.	DATE	BY	DESCRIPTION





FRONT ELEVATION  
SCALE: 1/4" = 1' (1/2 SCALE ON 11X17)



SIDE ELEVATIONS  
SCALE: 1/4" = 1' (1/2 SCALE ON 11X17)

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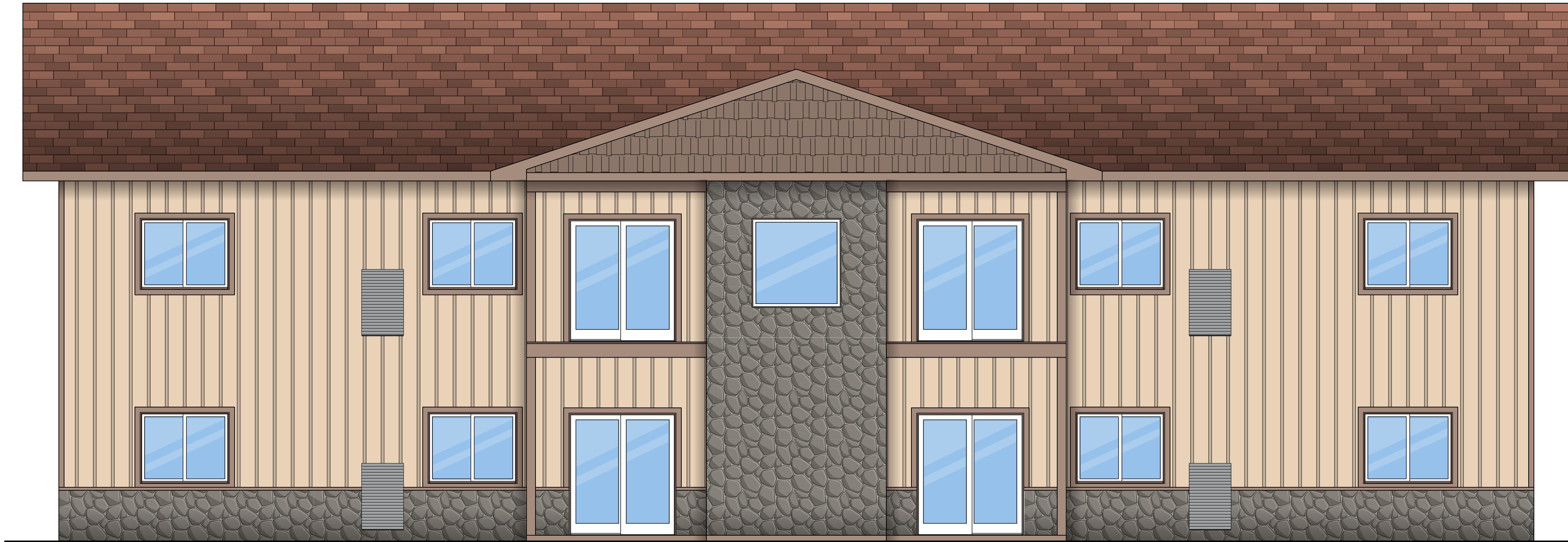


E.M.E. DRAFTING  
ERIC EGGERT  
900 MAPLE AVE. E.  
MORA, MN 55051

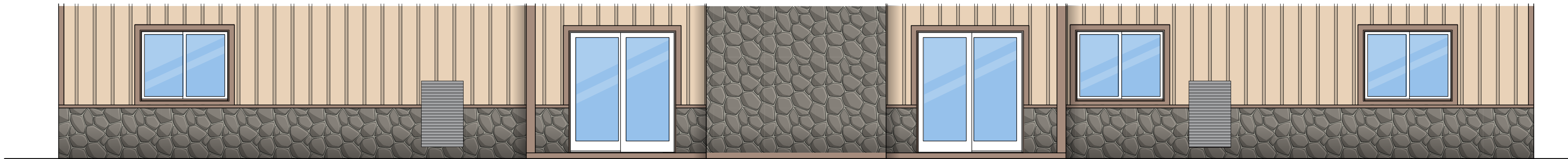
8 UNIT  
NORTH BRANCH, MN 55056

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DRAWN BY:	EME
DATE	4/7/25
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ELEVATION  
**A1.1**



REAR ELEVATION  
SCALE: 1/4" = 1' (1/2 SCALE ON 11X17)



REAR ELEV @ H.C. UNIT  
SCALE: 1/4" = 1' (1/2 SCALE ON 11X17)



REAR ELEV @ STREET  
SCALE: 1/4" = 1' (1/2 SCALE ON 11X17)

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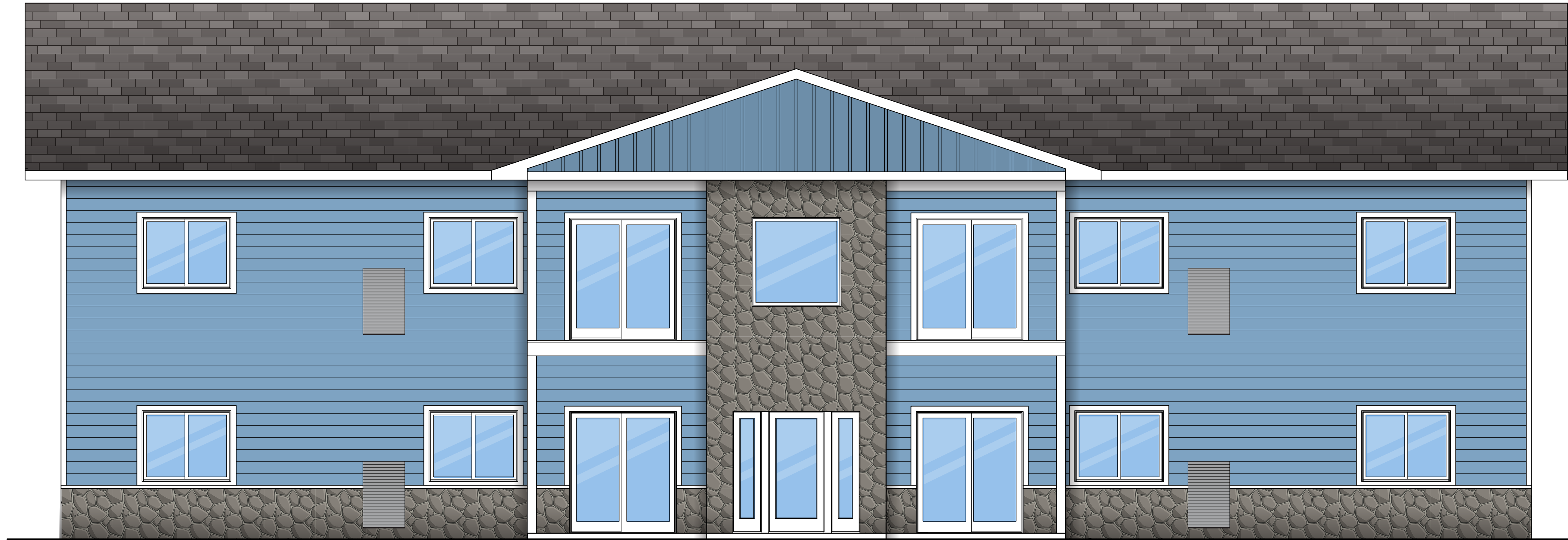
**DRAFTING**

E.M.E. DRAFTING  
ERIC EGGERT  
900 MAPLE AVE. E.  
MORA, MN 55051

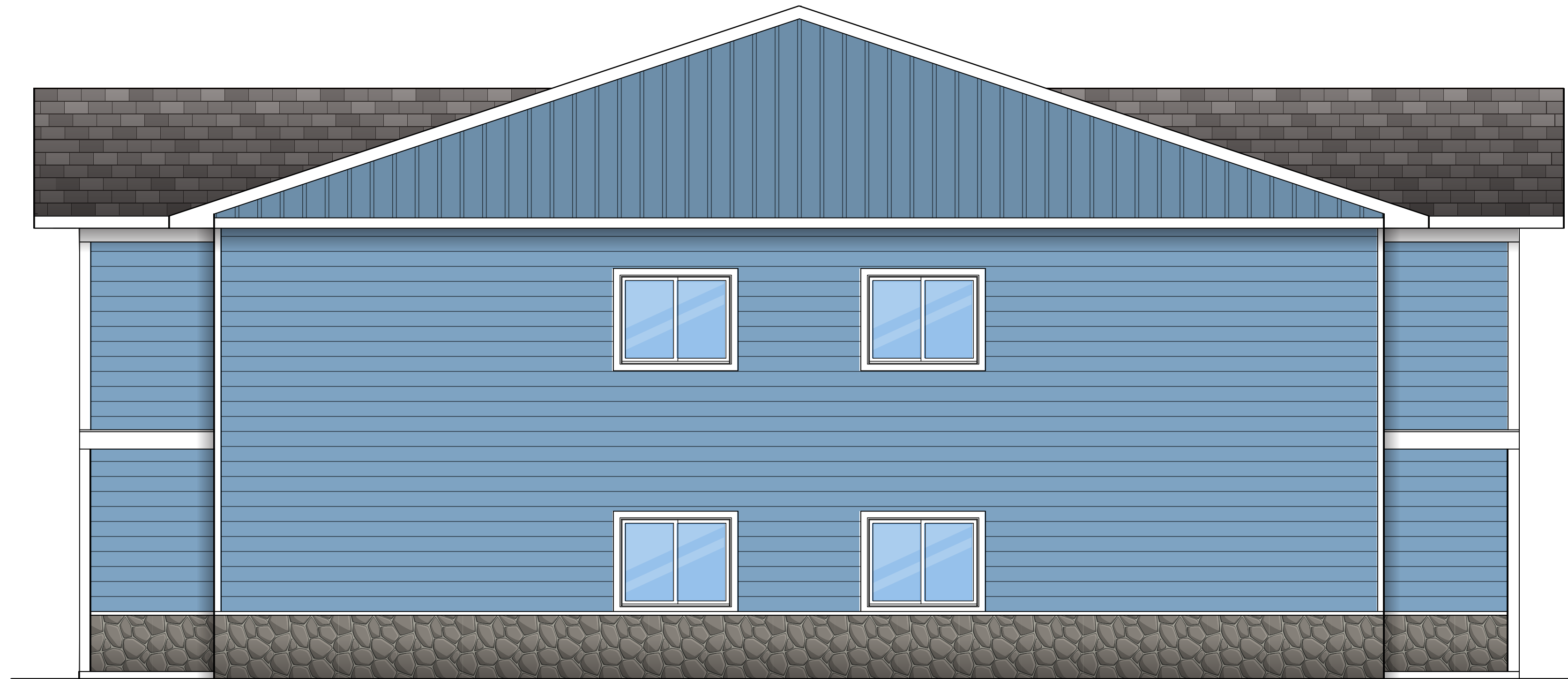
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ELEVATION 2  
**A1.2**



FRONT ELEVATION  
SCALE: 1/4" = 1' (1/2 SCALE ON 11X17)



SIDE ELEVATIONS  
SCALE: 1/4" = 1' (1/2 SCALE ON 11X17)

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E.M.E. DRAFTING  
ERIC EGGERT  
900 MAPLE AVE. E.  
MORA, MN 55051

8 UNIT  
NORTH BRANCH, MN 55056

FILE NAME	8 UNIT
DRAWN BY	EME
DATE	4/7/25
REVISED	----
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ELEVATION  
**A1.1**



REAR ELEVATION



REAR ELEV @ H.C. UNIT  
SCALE: 1/4" = 1' (1/2 SCALE ON 11X17)



REAR ELEV @ STREET  
SCALE: 1/4" = 1' (1/2 SCALE ON 11X17)

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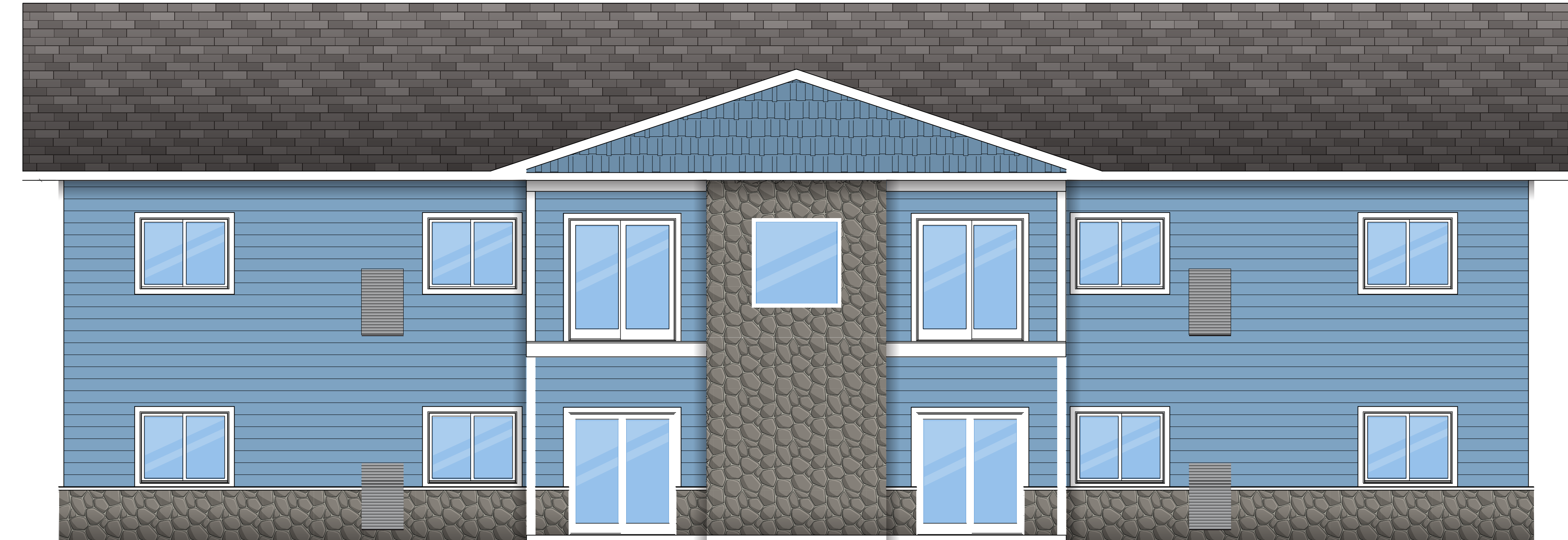
DRAFTING

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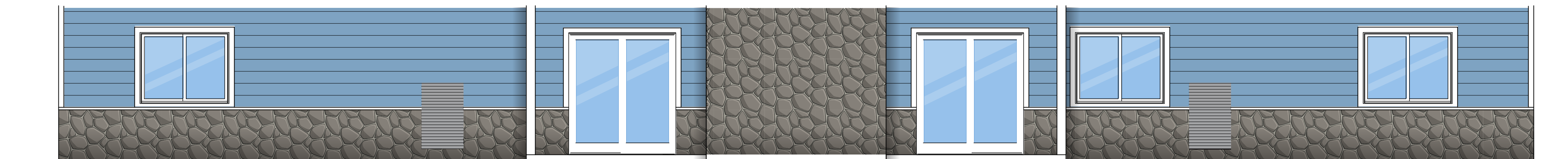
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NORTH BRANCH, MN 55056

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DRAWN BY:	EME
DATE:	4/7/25
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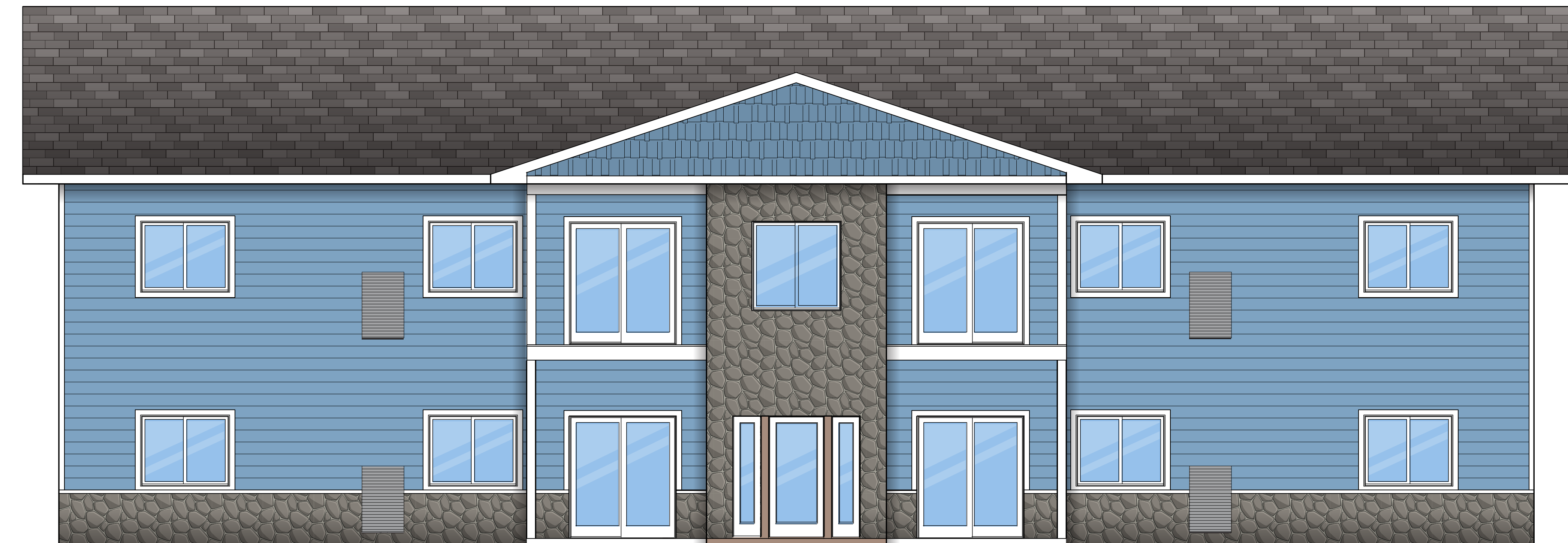
ELEVATION 2  
**A1.2**



REAR ELEVATION



REAR ELEV @ H.C. UNIT  
SCALE: 1/4" = 1' (1/2 SCALE ON 11X17)



REAR ELEV @ STREET  
SCALE: 1/4" = 1' (1/2 SCALE ON 11X17)

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**DRAFTING**

E.M.E. DRAFTING  
ERIC EGGERT  
900 MAPLE AVE. E.  
MORA, MN 55051

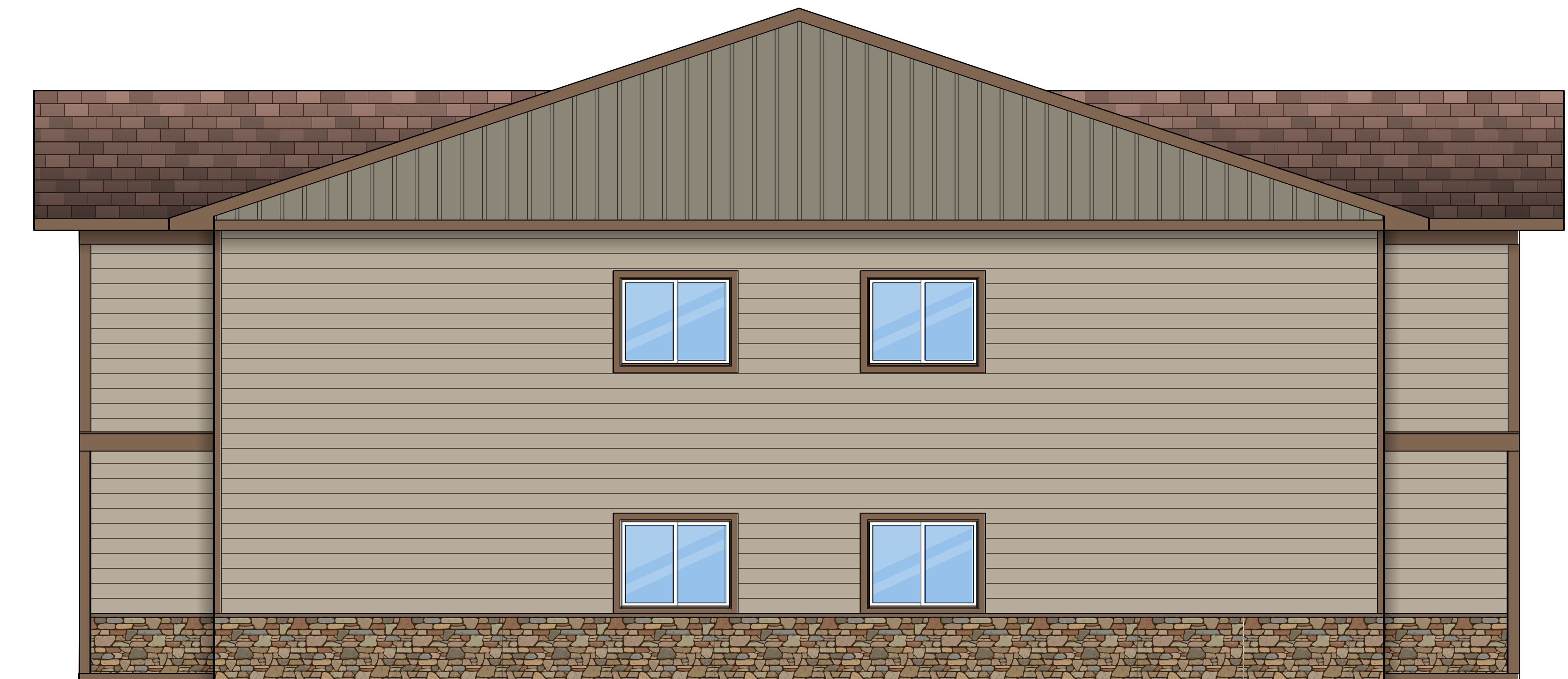
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ELEVATION 2  
**A1.2**



FRONT ELEVATION  
SCALE: 1/4" = 1' (1/2 SCALE ON 11X17)



SIDE ELEVATIONS  
SCALE: 1/4" = 1' (1/2 SCALE ON 11X17)

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ELEVATION  
A1.1

PLANNING COMMISSION

REGULAR MEETING MINUTES

TUESDAY, MAY 6, 2025 @ 6:30 PM

City Hall, 6408 Elm St., North Branch, MN 55056

Members Present: Steve Cich, Gary Shaeffer, Ross Otto  
Council Member Robert Canada and City Staff

Members Absent: Nate Ehalt

1. CALL TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL

Members present: Cich, Otto, Schaefer, City Council Liaison Canada, along with City Staff and members of the public.

4. AGENDA APPROVAL

Member Schaefer motions to approve the agenda, seconded by Member Otto.  
All aye 3-0, motion approved unanimously.

5. CONSENT AGENDA
  - a. Approval of April 1, 2025 Planning Commission Minutes

Member Schaefer motions to approve the agenda, seconded by Member Otto.  
All aye 3-0, motion approved unanimously.

6. PUBLIC COMMENT

There were no public comments. Public comments were closed at 6:38 P.M.

7. PUBLIC HEARINGS
  - a. Public Hearing to consider a conditional use permit to allow for multiple principal buildings on one parcel for the Main Street Apartments

Community Development Director Sondrol presented an overview of the Main Street Apartments. The site is the old Main Street School site and zoned CBD, Central Business District. Four apartment buildings with 8 units each are proposed. Surrounding uses include mostly residential with a funeral home to the southwest of the site. The site is 2.4 acres with a density of 13.3 units per acre. The site is located in Zone 1 for building materials which includes a need for 65% of brick, stone, glass curtain wall. The applicant is proposing 15% of natural stone, 15% for glass and windows and steel. The steel will not

meet the Zone 1 classification but the other materials will meet the requirement. Parking on site exceeds parking minimums per city code with 88 stalls proposed while only needing to provide 64 stalls. A traffic study was conducted in the area for a previously proposed 64 unit development on this site in 2023 and the recommendation was that the roadway was unlikely to be impacted significantly with the increase in vehicles on site. Thirty two trees are proposed for screening on site from nearby residences. The Parks Commission recommended the acceptance of cash for this development, as there are already parks nearby the site. Sondrol finished the presentation of the project and asked if Commission Members had any questions. Member Cich asked how far along in conversations Sondrol was with developers regarding the proposed siding material of the building. Sondrol expressed that the developer would like to use a vertical steel siding due to durability and a 50 year warranty. The code prohibits steel in the class 1 building materials. Member Cich expressed that the apartments should be intended to look similar to homes in the immediate neighborhood and that the proposed steel siding will not look similar.

#### Public Hearing:

Emmanuel Kintu asked if these apartments would be low income. Sondrol responded by saying that these will be market rate apartments. Kintu asked if this would change in the future. Sondrol said that they would remain market rate. Kintu was concerned about traffic and if the study from 2023 could be relooked at. Sondrol said that the previous study didn't show a concern for traffic with 64 units proposed. This project is 32 units and would essentially be half the amount of vehicles as the original proposal. Charlie Klopp commented that he would like to see a small playground on site for residents of the future apartments since the nearby parks do not have playground equipment and Central Park is dangerous to get to from this particular site. Charlie also would like to see "no parking" signs on some of the surrounding streets to avoid congestion. Walt Anderson was concerned of the underlying zoning district used to be residential and this project would be too high density for the area. Resident Travis Miles stated that the proposed development would meet the zoning district classification of CBD Central Business District and the comprehensive plan designation and home town feel. The pitched roofs meet the look of the neighborhood homes. Travis mentions a need for multifamily housing in the state and the general area. Resident Bryan voiced concern for the proposed siding material and would not like to see it. Sondrol read aloud a public comment that was received via email from Christine Dinzel. The comment included statements of disapproval of the project and that it would decrease the open feel of the neighborhood and lower property values. The destruction of the Main Street School on this site would also present troubles with breathing in toxic materials and would be hazardous to people living in the area. Tommy Foster, the builder made comments about the durability being a 50 year warranty and that they install this material on several buildings including high end lake homes on Rush Lake. He mentioned that he could possibly go with a batten board wood siding but prefers the steel. Tommy mentions that they oversized the parking lot for guests and to eliminate the need for nearby street parking. Cich asked Foster what the warranty is for hardie board plank siding. Foster said he believes it is only 20 years for warranty and will crack from impacts and weathering. Schaefer asked what the builder's timeline looks like. Tommy said he would plan to start after approval but hoping as soon as July of this year to get going. Resident Jackie mentioned the traffic study needing updating and the funeral home has several overflow cars during an event and hopes that

this apartment wouldn't create additional congestion. She also voiced concern for school buses not coming to service the apartments due to proximity to the schools. Travis Miles mentioned that there is a busing route in the area. The public hearing was closed by Member Cich at 7:13 P.M.

Planning Commission Discussion:

Member Schaefer mentioned that he believes apartments are appropriate there based on the past use being a school, how it meets zoning, and the site plans not being overcrowded. Schaefer said he did not like the design of the building, and the materials would not meet the current Zone 1 requirements. Cich agreed that the builder needs to reconsider the siding to better fit the neighborhood. Schaeffer asked if Tommy Foster would be willing to change the siding to a lap style to match the neighborhood. Tommy said he will work with city staff to determine what would be best to accommodate the requirements of the Zone 1 building materials to match the look of the neighborhood while still having an aesthetic they are going for. Sondrol mentioned that he would ask the Commissioners to request an extension of the timeline beyond the June 5<sup>th</sup> date. Cich asked the developer if he would be willing to get the siding issue resolved prior to July 1<sup>st</sup>. Tommy, the developer agreed. Schaefer made a motion to table this item to the June 3<sup>rd</sup> Planning Commission Meeting. Otto seconded the motion. The motion to table the item passed unanimously with a 3-0 vote.

- b. Public Hearing to consider requests for a preliminary plat for Cedar Ridge Community and a zoning text amendment to clarify single family homes a permitted use in the R-3 Zoning District

Community Development Director Nate Sondrol presented the request for a text amendment to allow for single family homes in the R-3 Zoning District and preliminary plat approval for the Cedar Ridge Community. The site features 75 single family lots with 3 future lots designated for apartment style buildings (167 total units) on roughly 62 acres. Seven outlots are proposed for commercial development and storm water ponding. Density is proposed at 6.29 units per acre for single family residential and 16.2 units per acre for the apartments. The developer is proposing 2 phases for the development. Sondrol explains that currently single family homes are not permitted in the R-3 residential zoning district based on the permitted uses chart within city code. Sondrol finished the presentation and asked the Planning Commissioners if they had any questions. Member Schaefer asked what phase the apartments would be included within and questioned if they would ever be built. Member Cich asked if the single family homes and apartments would be built simultaneously. Sondrol answered that they are shown on the plat as Phase 1 but have been mostly ghost platted in the development and don't appear to be part of the preliminary plat. Member Schaefer asked if the road cutting through the development would be a part of 381<sup>st</sup> Street and link up with Tanger Drive and if it is dedicated Right-of-way. Sondrol said that they have included ROW but would need to be addressed to meet the state aid design standards. Cich closed the regular meeting at 7:40 and opened up the public meeting simultaneously.

Public Hearing:

Brandon Tervo, a resident who lives at the corner of 381<sup>st</sup> Ln and Falcon Ave, opened the public hearing and asked questions regarding buffers on Falcon for the increase in traffic as a result of the added houses in the area. Sondrol responded that typically the city does not install any buffers on adjacent properties for new developments but the plans do show landscaping plantings on the east side of their development along Falcon. Plantings include coniferous and deciduous trees for buffering. Haylee Goulet, a resident who lives on 382<sup>nd</sup> St, reiterated that traffic would be a concern and that traffic has increased on Falcon. Speeds were also a concern on Falcon with the addition of new homes. Haylee mentions that the sense of privacy and security is crucial for the residents of the Wild Ridge Community. Phil Carlson, a landowner south of the proposed site expresses that single family homes are better than apartments as far as traffic and increased density goes. Emmanuel Kintu, a resident on 381<sup>st</sup> Ln, speaks about the development happening first in the state, instead of preparing first by installing roads. Widening lanes and turn lanes are essential for new development. Kintu also asked if the goal of the city is to raise tax money through rooftops. Kelly Higbee was also worried about traffic and the tax base in the city. Kelly mentions that taxes in the city are already high and that there should be alternate ways to bring in revenue for the city such as industry. Kelly mentions that the increase in population will create the need for more services such as grocery stores. Brandon Tervo questioned if there were any discussions on the commercial businesses that would be a part of the Phase 3 development. Sondrol answered that the land is privately owned and haven't received any information for the types of businesses that would be located in Phase 3. Tervo asked if the developer has previously developed in North Branch. Sondrol said that they have not developed in North Branch before. Tervo asked the developers to speak on their previous developments that they have completed. Joss Jondahl, the home builder, approached the podium and stated that they have done roughly 8 developments and that in order to get business in the city, they first need rooftops. Josh said that they would be selling off the apartment land and don't have renderings for the design of the commercial or apartment areas on the site yet. Joss said that they build roughly 40 homes per year mostly around the Princeton area. Joss said that they are very hands-on builders and will be doing the roads, excavating and framing. Subcontractors will be as local as possible but will need to use larger contractors for certain projects to keep the prices as low as possible for the homes and end up in the high 300k house range. The builder said that they would also sell lots to other select builders. The builder has about 15 workers to help construct the houses and try to do most of the work in-house. Deb Donley who lives on 381<sup>st</sup> Ln asked if the state owned the roadway in the development for state aid. Sondrol explained that the extension of Tanger Drive is a city road. Different roads have state aid requirements for certain roads for design and engineering. Deb said that it would be nice if the people in this new community could access their site from Tanger Drive instead of Falcon Ave to minimize traffic. Sondrol said that they would be constructing the roads coming off from Falcon and that the city would request that the Right-of-Way would be platted to ensure that the roadway gets constructed as the commercial area gets developed. Jessica Kintu opposes apartments on the site based on traffic concerns and often sees people crossing Falcon Ave stating that it's dangerous. Jessica is also concerned with the value of their property in Wild Ridge going down due to the added development. Jessica asked how the services in the city would change such as fire and police presence. Haylee Goulet asked if there is any consideration of round a-bouts or additional stop signs on Falcon Ave. Sondrol responded by saying that Falcon Ave is a County roadway and they are the authority. Right and left

turn lanes are planned to be added to access the proposed community. Public Comment was closed by Member Cich at 8:18 P.M.

Planning Commission Discussion:

Member Cich explained that there is a lot to consider with this project, including the zoning, density, the commercial piece and apartments. Member Schaefer said that the site has been zoned R-3 for a long time, but adding the apartments would be the only way to reach the density requirements for this zoning district. Sondrol confirmed by expressing that it is zoned and guided for high density residential and that the site would need to meet the density requirements of a minimum of 6 units per acre of the R-3 district. Schaefer said that he thinks this would be a loophole for the development by using the apartments to satisfy the density requirements. Schaefer asked if the city would be setting precedence if they allowed single family homes in the R-3 district. Sondrol said that the R-3 district as of now allows for a variety of townhouses and apartment style housing and by allowing single family homes in this district, they would still have to meet the minimum density requirements based on the Comprehensive Plan designation. Member Otto questioned if they were to allow for the preliminary plat as presented and the single family homes were being built, whether the apartments would actually come to the site and if it would bring up issues down the road. Otto reiterated that the site would not meet density just with the single family houses and asked Sondrol if there is a timeline that the apartments would need to be constructed. Sondrol said that there can be conditions added that mention the inclusion of the apartments on the site and put certain restrictions on the property. Cich mentions that they are in a predicament if the apartments never come. Sondrol mentioned that if they were to go through with a text amendment, that it would allow for single family homes in all R-3 districts in the city and would essentially make these developments have tight lot widths to meet density requirements. Otto said that townhouses could also be an option instead of apartments in the R-3 District but for this specific development it might get tight to meet the density requirements and lot dimensions. Cich asked the Commissioners and Community Development Director if they wanted to open themselves up to allow for single family homes in the R-3 zoning district. Sondrol responded by saying that there are pros and cons to this, but a PUD could be an alternative option to allow the single family homes in the area while also providing the apartments. The comprehensive plan update will help guide where the city wants to see certain types of development. Cich asks Sondrol if they would be stuck if they went through with the text amendment. Sondrol said that through an ordinance it could be changed back but is looking for community collaboration through the future comprehensive plan amendment to see what the community wants. Cich asked if utilities would be a problem with the apartments. Sondrol confirmed that the utilities in the area were designed for high density. Member Schaefer said that he can't support the text amendment but believes this is a good project. Schaefer said that he believes that the text amendment would be a bad idea for future development. Member Cich said that they are trying to work with businesses and this development is a business, however the text amendment would impact more than originally intended.

Schaefer made a motion to deny the proposed text amendment for Section 66-6 of the city code, to allow for single family homes in the R-3 zoning district. Member Otto seconded that motion. Denial for the text amendment passed 3-0 with a unanimous aye vote.

Findings of Fact include the development not following the guidance of the comprehensive plan if the zoning is not permitted and opening up future developments to only construct single family homes in the R-3 District.

A second vote was taken for the preliminary plat. Schaefer made a motion to deny the preliminary plat and was seconded by Otto. Motion passes 3-0 unanimously.

Findings of fact include the preliminary plat not meeting the zoning district and density requirements.

Recommendation for denial of both the text amendment and preliminary plat will be forwarded to the City Council at the May 13<sup>th</sup> Meeting.

The public hearing for the text amendment and preliminary plat was closed at 8:45 P.M.

## 8. REPORTS

### a. Comprehensive Plan Update

Sondrol explained that the City Council and Parks Board have begun looking at their sections of the city's comprehensive plan and expressed to have the Planning Commission start to review the comp plan as well. Certain issues with zoning designations and regions should be explored. Sondrol explained that there would be meetings in June and August for the public to express opinions on how the city should be guided and create goals to meet for the future of the city. City Administrator Hill reiterated that Commissioners should reach out to city staff for the parameters of the comp plan and what they would like changed. Hill said that the comprehensive plan was last completed in 2018 and the city has changed tremendously since then, so creating new goals is necessary to guide the city in the right direction.

## 9. NEXT MEETING – June 3, 2025 – 6:30 PM

### a. Upcoming Agenda Items

#### i. Falcon and 95 development

#### ii. Text Amendments for inconsistency in zoning districts

## 10. ADJOURNMENT

Meeting was adjourned at 8:50 P.M.



**Prepared By: Ryan Saltis**

**Presenter: Ryan Saltis, Nathan Sondrol, Community Development Director**

**Date: 06/23/2025**

**Board & Commission: Planning Commission**

**Subject: Design Standards**

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See attached

**Voting Requirements:**

**Voting Options      Simple Majority**

## **Building Standards**

The Planning Commission, EDA, and City Council have requested to look into building standards for the City with the intention of being less restrictive for businesses. Exterior building material standards can increase construction costs by requiring more expensive materials, specialized labor, and detailed architectural features. These standards also reduce flexibility, increase soft costs, and make it harder for smaller or lower-budget projects to meet compliance affordably. The goal of this research provided is to understand how North Branch compares to surrounding cities and amend the design standards in order to make North Branch less expensive and a more desirable place for business.

North Branch is divided into three distinct design standard zones – each with tailored building material and design expectations.

These design standards zones are shown on the attached map: [https://s3-us-west-2.amazonaws.com/municipalcodeonline.com-new/northbranch/ADC/files/ordinance/1722966412\\_376-24map.pdf](https://s3-us-west-2.amazonaws.com/municipalcodeonline.com-new/northbranch/ADC/files/ordinance/1722966412_376-24map.pdf)

A description of how these zones function and apply across the city is provided below:

### **Zone 1 – Primary Corridors & Gateways**

**Location:** Highlighted along major arterials, high-visibility corridors, and commercial entry points (e.g., Main St, Hwy 95, and I-35 vicinity).

#### **Standards:**

- **≥ 65% Class I materials** (e.g., brick, stone, glass, copper).
- **High architectural cohesion** on all building sides.
- **Accent colors** limited to ≤ 5% of any wall.
- **Roofing:** High-quality asphalt shingles, wood, or standing seam metal.
- Intended to preserve the city's most visible areas with **premium design** and enduring materials.

### **Zone 2 – Transitional Commercial Areas**

**Location:** Found adjacent to Zone 1 areas, around neighborhood commercial nodes, and moderate-visibility corridors.

#### **Standards:**

- **≥ 50% Class I materials**, with up to **50% Class II** (e.g., stucco, fiber-cement, specialty block).
- Slightly more material flexibility, especially for **non-street-facing sides**.
- Architectural expression still required, but enforcement is less rigid than Zone 1.
- **Same roofing requirements** as Zone 1.

**Zone 3 – Industrial, Rear-Facing, and Low-Visibility Areas**

**Location:** Industrial parks, interior lot zones, and edges of the city not adjacent to major corridors.

**Standards:**

- **No required percentages** of Class I or II, but must still use **at least two colors or materials** on public-facing sides.
- **Relaxed material limitations** on sides not visible from public roads.
- **Unfinished or reflective materials** prohibited *unless* screened or located out of view.
- Roof fasteners must be color-matched to metal; otherwise, metal roofs are allowed.

**Current North Branch Design Standards:**

**Sec 66-943 Design Standards**

- a) The zones set forth in this Section are defined in the design overlay district map on record with the City Clerk.
- b) Architectural Standards. The requirements contained within this Division shall not apply to any structure in the Agricultural, Rural Residential or Park/Open Space districts. It shall apply to all structures used for commercial purposes in Single-Family Residential, Medium Density Residential, and High Density Residential, all structures in the Central Business, Commercial, and Industrial Districts.

These standards are intended to ensure coordinated design of new and existing building exteriors, including additions and accessory structures, in order to prevent visual disharmony; minimize adverse impacts on adjacent properties from buildings which detract from the character and appearance of the district; and aid in improving the overall economic viability of the district. These standards are further intended to prevent use of materials that are unsightly, subject to rapid deterioration or which contribute to depreciation of property values or cause urban blight. It is not the intent of this Section to unduly restrict design freedom when reviewing and approving project architecture in relationship to the proposed land use, site characteristics and interior building layout. While the City of North Branch has not established a theme or particular style of architecture that must be adhered to, a general goal of creating a professional appearance with architectural appeal associated with a small city atmosphere is desired within the City of North Branch.

- (1) Architectural plans shall be prepared by an architect or other qualified person (as determined by the Zoning Administrator) and shall show the following:
  - (a) Elevations of all sides of the building.
  - (b) Type and color of exterior building materials.
  - (c) Typical floor plans.
  - (d) Dimensions of all structures.

- (e) The location of trash containers and of exterior electrical, heating, ventilation, and air conditioning equipment.
  - (f) Utility plans including water, sanitary sewer, and storm sewer.
  - (g) Additional plans deemed necessary by the Zoning Administrator.
- (2) Exterior building materials shall be subject to Zoning Administrator approval and the following:
- (a) Zone 1: Structures must provide a cohesive architectural appearance reflecting its functional purpose and must be composed of at least sixty-five percent (65%) Class I materials; not more than thirty-five percent (35%) percent Class II materials.
  - (b) Zone 2: Structures must provide a cohesive architectural appearance reflecting its functional purpose and must be composed of at least fifty percent (50%) Class I materials; not more than thirty-five percent (50%) percent Class II materials.
  - (c) Zone 3: Structures must provide a cohesive architectural appearance reflecting its functional purpose. Structures in this zone are not subject to material composition requirements by Class. All other design standards in this Section apply unless otherwise listed.
  - (d) Classes of materials. For the purposes of this subdivision, exterior materials shall be divided into Class I and Class II categories as follows:
    - 1. Class I consisting of:
      - i. Brick,
      - ii. Natural stone (or similar appearing, high quality manufactured stone),
      - iii. Glass curtain wall,
      - iv. Copper,
      - v. Other comparable or superior materials, or
      - vi. New materials that meet the intent of the preamble above.
    - 2. Class II consisting of:
      - i. Specialty concrete block such as burnished, textured or rock face,
      - ii. Architecturally precast concrete panels having an exposed aggregate, light sandblast, acid etch, form liner, smooth as cast, tooled, natural stone veneer, brick face and/or cast stone type finish,
      - iii. Masonry stucco,
      - iv. Fiber-cement exterior siding,

- v. Other comparable or superior materials,
  - vi. New materials that meet the intent of the preamble above.
  - vii. Exterior finish installation system (EFIS),
  - viii. Opaque panels,
  - ix. Ornamental metal,
  - x. Smooth concrete block,
  - xi. Scored concrete block,
  - xii. Smooth concrete tilt-up panels,
  - xiii. Glazed block,
  - xiv. Glass block,
  - xv. Ceramic,
  - xvi. Other comparable or superior materials, or
  - xvii. New materials that meet the intent of the preamble above.
- (e) A distinctly different color of brick may be considered as a second Class I material, however, minor blended color combinations shall not be considered as a separate material.
- (f) Buildings may be constructed primarily of one (1) specific Class I material provided that the design fits the purpose of the building and is obviously superior to the general intent of this Division to provide visual interest, variation in detailing, and eliminate long wall sections without windows.
- (g) Buildings constructed in Zone 3 shall have a minimum of two complementary color tones or two materials incorporated on all sides of the building. This can be completed through wainscoting, columns, pilasters, or other ornamentation as determined by the Zoning Administrator.
- (h) Garish or bright accent colors for awnings, trim, banding, walls, entries or any portion of the building shall be minimized, but in no case shall such coloring exceed five percent (5%) of each wall area.
- (i) In Zones 1 and 2 exposed roof materials shall be similar to, or an architectural equivalent of a high quality asphalt shingle (300# or better), wood shingle, standing seam metal roof, or better.
- (j) In Zone 3, roof materials shall be of a finished material and all fasteners and connectors shall be the same color as the roof material.
- (3) The overall architectural character shall have a consistent architectural expression on all sides of the building and be compatible with its surroundings.
- (4) Windows or simulated windows shall be used on the ground level of any wall parallel to or nearly parallel to a street.

- (5) All structures, including parking ramps shall be designed to be architecturally integrated into the overall site and be made of comparable materials and decorative elements.
- (6) All façade treatments shall be maintained so as to not be unsightly in appearance or in a state of disrepair, nor shall harmful health or safety conditions be present for the life of the project.
- (7) Prohibited Exterior Materials in Zone 1 and 2:
  - (a) Vinyl Siding.
  - (b) Metal Siding, except as provided above.
  - (c) Formed Metal Panels with exposed fasteners.
  - (d) Pre-engineered post-frame structures with agricultural grade metal wall and roof panels, commonly called “pole barns” are not permitted.
- (8) Prohibited Exterior Materials in Zone 3:
  - (a) Unfinished steel on walls or roofs.
  - (b) Unfinished aluminum on walls or roofs.
  - (c) Reflective materials.
- (9) Exceptions – The following exceptions to the exterior building material requirements may apply:
  - (a) The use is an essential service as defined by this Division; or
  - (b) The applicant shall have the burden of demonstrating that:
    - 1. The proposed building maintains the quality in design and materials intended by this Division,
    - 2. The proposed building design and materials are compatible and in harmony with other structures within the district,
    - 3. The justification for deviation from the requirements of this section shall not be based on economic considerations.
  - (c) Sides of a building which are not visible from any public road may use any combination of Class I or II materials, if approved by the Planning Commission and City Council. The applicant must be able to demonstrate that said side of building is not visible from any public road.
  - (d) Garage doors, window trim, flashing, accent items and the like, shall not constitute required materials that make up the exterior finish of a building for the purposes of this section.
  - (e) Building Additions. Properties zoned I - Industrial and I2 - Heavy Industrial may be excepted from the minimum exterior building material standards for additions onto existing buildings. This exception only applies to additions of not more than 75 percent of the gross floor area of the initial principal building constructed on the property. The type and percent composition of the

material(s) on the new addition(s) must be equal to or greater than the material(s) on the existing principal building. Additions exceeding 75 percent are required to meet the minimum exterior material standards for that Zone. In this case, the property owner may opt to satisfy the minimum standards on both the addition(s) and existing building. This exception does not apply to new secondary buildings and accessory structures on the property, if permitted by zoning.

### **Surrounding Cities – Design Standards:**

#### **City-by-City Summary**

##### **Cambridge**

- Emphasis on architectural quality and visual harmony.
- Prohibits low-grade materials (sheet metal, corrugated metal, etc.).
- Requires detailing on walls over 20 feet.
- Downtown buildings have stricter standards than industrial or rear facades.

##### **Isanti**

- Requires design to complement surroundings.
- Prefers masonry, concrete, or glass; permits metal with wainscot.
- City Council approval required for some materials.
- Color must harmonize with natural surroundings.

##### **Hugo**

- Strong aesthetic and functional integration standards.
- Requires architectural concrete, masonry, or glass.
- Screening for mechanical units, lighting restrictions, and underground utilities are required.

##### **Wyoming**

- Emphasis on creating a small city aesthetic.
- Prohibits pole buildings, metal siding, vinyl siding, and exposed fasteners.
- Requires high architectural character and façade articulation.
- Class I/II materials must dominate street-facing facades.

##### **Blaine**

- Uniform architectural treatment for all building sides.
- Allows metal paneling if used creatively and limited to 35%.
- Modern architectural expression encouraged.

## **Rogers**

- 75% of building finish must be high-quality materials (brick, stone, EIFS).
- Restricts materials like tin, tilt-up panels, and prefabricated sheet metal.
- Allows limited use of wood and architectural panels.

## **Monticello**

- High emphasis on architectural compatibility.
- Permits some metals only if coordinated into the design.
- Prohibits unfinished metals.
- Downtown and industrial zones have tailored material and design rules.

## **St. Francis**

- 100% quality finish required for visible walls in most districts.
- Varies requirements based on zoning (B-1, B-2, I-1, etc.).
- Requires regular articulation and window inclusion for long walls.
- Allows baked enamel metal only in limited contexts.

## **Lindstrom**

- Uses Class I, II, III rating system for materials.
- Requires at least 50% Class I and limits Class III on street-facing walls.
- Façades must include at least two Class I materials.
- Restricts painted brick or stone.

## **Princeton**

- Promotes aesthetic compatibility with surroundings.
- Allows concrete, glass, and metal panels if properly finished.
- Requires windows on street-facing facades.
- Pole buildings need special design review.

## **Surrounding Cities – Full Design Standards**

### **Cambridge**

#### **§ 156.088 EXTERIOR BUILDING WALL AND ROOF FINISHES FOR DOWNTOWN, COMMERCIAL, AND INDUSTRIAL DISTRICTS**

(A) Purpose and intent. All commercial and industrial buildings shall be designed to accomplish the goals and policies of the Comprehensive Plan. Building materials shall be attractive in appearance, durable with a permanent finish, and of a quality that is both compatible with adjacent structures and consistent with the City's standards for the zoning district in which the building is located. All buildings shall be of good aesthetic and architectural quality, as demonstrated by the inclusion of

elements such as accent materials, entrance and window treatments, contrasting colors, irregular building shapes, or other architectural features in the overall architectural concept.

(B) Major exterior wall surface materials.

(1) Downtown Buildings (B-1 Zoning District). (Ord. 797, 01-21-2025)

- (a) Exterior surfaces on all walls shall be face brick, rock face block, stone, finished precast panels, glass, stucco, or synthetic stucco. See also Section E below.
- (b) Alley facing exterior walls on a building, shall match as close as possible to the principal building and be compatible with the principal building and adjacent buildings. Fiber cement, engineered wood, architectural concrete, and/or decorative block materials may be used for alley facing walls if they match as close as possible and are compatible as noted herein. The intent of this section is to increase the visual appearance of the alleyways and to avoid mismatched materials due to the close proximity and/or attachment of these buildings.
- (c) All large walls spanning 20' or more shall have architectural detailing including but not limited to a change in materials, change in color, offsets, or other significant visual characteristic.
- (d) Under no circumstances shall sheet plywood, sheet metal, corrugated metal, metal/steal or aluminum, asbestos, iron, or plain concrete block (whether painted or color integrated or not) be deemed acceptable as exterior wall materials on buildings.

(2) Commercial buildings (B-1A, B-2, and BT Zoning Districts). (Ord. 797, 01-21-2025)

- (a) Exterior surfaces on all walls shall be face brick, rock face block, fiber cement, engineered wood siding (i.e. LP Smartside), stone, finished precast panels, glass, stucco, or synthetic stucco. 144
- (b) Finished log wood siding is acceptable if it is incorporated into the overall design of the building or as an accent material.
- (c) Standing seam metal, architectural concrete, and/or decorative block may be used if no more than 25% of the building is covered by it. The remainder of the building must be covered by the material(s) noted in subsection (a) above.
- (d) All large walls spanning 20' or more shall have architectural detailing including but not limited to a change in materials, change in color, offsets, or other significant visual characteristic.
- (e) Under no circumstances shall sheet plywood, sheet metal with exposed fasteners, corrugated metal, asbestos, iron, or plain concrete block (whether

Painted or color integrated or not) be deemed acceptable as exterior wall materials on buildings.

(3) Industrial buildings. (Ord. 797, 01-21-2025)

- (a) Front wall. Exterior surfaces on all front street facing walls shall be face brick, rock face block, fiber cement, engineered wood siding (i.e. LP Smartside), stone, finished precast panels, glass, stucco, synthetic stucco or cast in place and/or precast panels.
- (b) Side walls. Exterior surfaces on all side yard facing walls shall be a minimum 25% face brick, rock face block, fiber cement, engineered wood siding, stone, finished precast panels, glass, stucco, synthetic stucco or cast in place and/or precast panels. The intent of this is to create a wainscot or some other visually interesting feature. The remainder may be standing seam metal siding, architectural concrete and/or decorative block. The Zoning Administrator may allow a deviation from this based on design of building (i.e. loading docks or other physical characteristics).
- (c) Rear wall. Exterior surfaces on rear yard facing walls may be 100% standing seam metal siding, architectural concrete and/or decorative block.
- (d) Under no circumstances shall sheet plywood, sheet metal with exposed fasteners, corrugated metal, asbestos, iron, or plain concrete block (whether painted or color integrated or not) be deemed acceptable as exterior wall materials on buildings.

(C) Exceptions. The following exceptions are permitted:

- (1) Exterior walls that are built within six (6) inches of and parallel to an existing wall of an adjacent building shall be exempt from the requirements of subparts (B) and (C) above.
- (2) The Zoning Administrator may approve other new materials that are equal to or better than the materials listed in this section. Materials not specifically identified herein, whether or not they are better than or equal to the materials listed in this section may be required to receive a variance from the Planning Commission and City Council for final approval.

(D) Roofs. Roofs that are exposed or an integral part of the building aesthetics shall be constructed only of commercial grade asphalt shingles, wood shingles, standing seam metal, slate, tile, or copper. Flat roofs which are generally parallel with the first floor elevations are not subject to these material limitations.

(E) Additions and alterations. All subsequent additions and exterior alterations constructed after the erection of an original building or buildings shall be of the same materials as those used in

the original building and shall be designed in a manner conforming to the original architectural concept and general appearance. The intent of this paragraph is for those buildings that have a historical significance in the downtown area and were originally built with brick or other historical features. Buildings that do not have significant historical features (i.e. plain or painted concrete block or metal) shall upgrade to the approved materials listed herein if undergoing an alteration or improvement. Existing non-conforming buildings may remain as-is and any subsequent addition may continue the non-conforming material (i.e. an existing metal building may continue the metal siding with a new addition). However, if more than 10% of the project includes removal and replacement of existing exterior materials, then only approved materials shall be allowed. (i.e. building shall not be allowed to remove or alter its existing disallowed material and replace it with a new disallowed material). The Zoning Administrator has discretion to allow other materials based on reasonable circumstances.

**Isanti**

ARTICLE ONE: "I-1" INDUSTRIAL PARK DISTRICT

Subdivision 13: Building Design and Construction

- A. The design and location of the buildings constructed on a lot shall be attractive and shall complement existing structures and the surrounding natural features and topography with respect to height, design finish, color, size and location.
- B. Load bearing structural components shall be steel or structural concrete. Other materials of greater strength may be used if expressly allowed by the City Council.
- C. Architecturally and aesthetically suitable building materials shall be applied to, or used on, all sides of all buildings that are adjacent to other existing or future structures or roads. Exterior walls of iron, aluminum, or wood will be permitted only with the specific written approval of the City Council. Exterior walls of masonry, concrete and glass are encouraged. Colors shall be harmonious and compatible with colors of the natural surroundings and other adjacent buildings.
- D. All exterior wall finishes on any building shall be comprised of any one or a combination of the following materials:

1. Face brick
2. Natural stone
3. Glass
4. Specially designed pre-cast concrete units, if the surfaces have been integrally treated with an applied decorative material or texture.
5. Factory fabricated, finished 26 Ga. Metal panel
6. Decorative concrete block approved by the City Council.
7. Architectural metal accent panels, generally with a value greater than pre-cast concrete units, and as specifically approved by the City Council.
8. When material noted in (5) above is used, there shall be a wainscot of material noted in (1), (2.) or (6) above, Wainscot shall be located across a minimum of 50% of the linear perimeter of the building and shall be located where most visible from streets and as specifically approved by the City Council. Minimum wainscot height shall be one-third of the sidewalk height and/or specifically approved by the City Council.
9. Other materials as approved by the City Council and in conformance with existing design and character of the Property.

### **Hugo**

#### **Sec. 90-272. - Commercial and industrial construction standards.**

- (a) It shall be unlawful for any person to construct any commercial or industrial building in the city except in conformance with the following standards:
  - (1) Exteriors for all buildings, principal and accessory, shall be architecturally enhanced concrete panel, architecturally enhanced masonry block, masonry with block, masonry with exterior insulation and finish system (EIFS), brick, dressed stoned or glass. Colors shall be neutral or earth tones, except, to create a decorative effect, 20 percent of the building facade (excluding window and door areas for the computation) may be decorated with glazed tile, glass, plastic or metal panels, or wood of various colors.
  - (2) All roof- and ground-mounted mechanical equipment shall be completely enclosed with building materials compatible with the principal structure and painted to blend in unobtrusively with their background.
  - (3) Accessory buildings and structures on each lot shall match, in color, form, and appearance, the principal building on the lot.

- (4) All trash-handling and loading areas shall be fenced with materials consistent with the exterior facing materials on the principal buildings.
  - (5) Ground-level mechanical units shall be low profile and located to the side or rear of the building.
  - (6) On-site exterior lighting shall be directed down and shielded from adjacent properties and roadways. The maximum height of parking lot lighting adjacent to residential areas shall be 20 feet.
  - (7) All utilities shall be constructed underground, and utility meters shall be screened or integrated into the building structure.
  - (8) All areas not covered by building, parking, driveways, or impervious storage areas shall be landscaped and maintained in accordance with [section 90-181](#).
- (b) Within five years of the adoption of the ordinance from which this section was derived, the city council may issue a conditional use permit to allow the expansion of any existing commercial or industrial buildings not in conformance with this section. Such permit may allow the nonconforming building to be enlarged, up to double its existing size, using the same structural techniques as used for the existing building. The building must comply with all other pertinent building and zoning codes.
- (c) Any building constructed in a commercial or industrial zoning district shall comply with the commercial and industrial design guidelines.

## **Wyoming**

### Sec. 40 – 287. Architectural Standards.

All buildings shall conform to the standards contained in Article VII, Division 5.

- (1) In addition to other restrictions of Article VII, Division 5, pole buildings, metal-sided buildings, agricultural buildings or similar structures are not permitted as principal or accessory uses in the I district.

### Sec. 40 – 452. Architectural standards.

These standards are intended to ensure coordinated design of new and existing building exteriors, including additions and accessory structures, in order to provide visual harmony; enhance the character and appearance of the district that the building is located in; and to aid in improving the overall economic viability of the district. These standards are intended to prevent the use of materials that are unsightly, subject to rapid deterioration or which contribute to depreciation of property values or cause urban blight. It is not the intent of this Division to unduly restrict design freedom when reviewing and approving project architecture in relationship to the proposed land use, site characteristics, and interior building layout. While the City of Wyoming has not established a theme or particular style of

architecture that must be adhered to, a general goal of creating a small city atmosphere is desired within the Central Business District (CBD).

- (1) Preliminary Meeting with Staff. Applicants shall request a meeting with City staff prior to Planning Commission and City Council review to determine general compliance with the code.
- (2) Architectural Plans: Architectural plans shall be prepared by an architect or other qualified person (as determined by the Zoning Administrator) and shall show the following:
  - (a) Elevations of all sides of the building.
  - (b) Type and color of exterior building materials.
  - (c) Typical floor plans.
  - (d) Dimensions of all structures.
  - (e) The location of trash containers and of exterior electrical, heating, ventilation, and air conditioning equipment.
  - (f) Utility plans including water, sanitary sewer, and storm sewer.
  - (g) Additional plans deemed necessary by the Zoning Administrator.
- (3) Exterior building materials: Exterior building materials shall be subject to Planning Commission approval and the following:
  - (a) Commercial structures must provide a cohesive architectural appearance reflecting its functional purpose.
  - (b) Garish or bright accent colors for awnings, trim, banding, walls, entries or any portion of the building shall be minimized, but in no case shall such coloring exceed five percent (5%) of each wall area.
  - (c) The overall architectural character shall have a consistent architectural expression on all sides of the building and be compatible with its surroundings.
  - (d) Windows or simulated windows shall be used on the ground level of any wall parallel to or nearly parallel to a street.
  - (e) All façade treatments shall be maintained so as to not be unsightly in appearance or in a state of disrepair, nor shall harmful health or safety conditions be present for the life of the project.

- (f) All structures, including parking ramps shall be designed to be architecturally integrated into the overall site and be made of comparable materials and decorative elements.
- (4) Roofing:
  - (a) Exposed roof materials shall be similar to, or an architectural equivalent of a high quality asphalt shingle (300# or better), wood shingle, standing seam metal roof, or better.
- (5) Prohibited Exterior Materials:
  - (a) Vinyl Siding.
  - (b) Metal Siding.
  - (c) Formed Metal Panels with exposed fasteners.
  - (d) Pre-engineered post-frame structures with agricultural grade metal wall and roof panels, commonly called “pole barns” are not permitted.
- (6) Exceptions:

The following exceptions to the exterior building material requirements may apply:

- (a) The use is an essential service as defined by this Division; or
- (b) The applicant shall have the burden of demonstrating that:
  1. The proposed building maintains the quality in design and materials intended by this Division,
  2. The proposed building design and materials are compatible and in harmony with other structures within the district that were constructed after February 2, 1998,
  3. The justification for deviation from the requirements of this Division shall not be based on economic considerations.

Sec. 40 – 458. Industrial District (I).

- (1) Acceptable exterior materials are divided into Class I, Class II, and Class III categories as presented in the table below. Facades facing public right-of-way or a residential district must be composed of at least 65 percent of Class I or II materials, with Class I materials comprising at least 25 percent of the total façade. Side and rear facades not visible from public right-of-way or residential districts may use any combination of Class I, II, or III materials.

CLASS I	CLASS II	CLASS III
Brick, Natural stone (or similar appearing, high quality manufactured stone), Natural wood, provided that the surfaces are finished for exterior use or the wood is of proven durability for exterior use, such as cedar, redwood or cypress, Glass curtain wall, Copper, Other comparable or superior materials, New materials that meet the intent of the preamble above.	Specialty concrete block such as burnished, textured or rock face, Architecturally precast concrete panels having an exposed aggregate, light sandblast, acid etch, form liner, smooth as cast, tooled, natural stone veneer, brick face and/or cast stone type finish, Masonry stucco, Fiber-cement exterior siding, Engineered wood siding, Other comparable or superior materials, New materials that meet the intent of the preamble above.	Exterior finish installation system (EIFS), Opaque panels, Ornamental metal, Smooth concrete block, Scored concrete block, Smooth concrete tilt-up panels, Glazed block, Glass block, Ceramic Other comparable or superior materials, New materials that meet the intent of the preamble above.

- (2) Buildings may be constructed primarily of one (1) specific Class I material provided that the design fits the purpose of the building and is obviously superior to the general intent of this Division to provide visual interest, variation in detailing, and eliminate long wall sections without windows.
- (3) A distinctly different color of brick may be considered as a second Class I material, however, minor blended color combinations shall not be considered as a separate material.
- (4) Garage doors, window trim, flashing, accent items, and the like, shall not constitute required materials that make up the exterior finish of a building for the purposes of this section.
- (5) Buildings in the Industrial District must have the lower seventy-five percent (75%) of all exterior wall surfaces be at least one or a combination of Class I, II, or III materials. The remaining twenty-five percent (25%) of the building may be any material subject to final approval by the Planning Commission and City Council.

**Blaine**

Chapter 31 – Industrial Districts

**31.091 - Architectural control.**

- (a) All buildings erected shall be a type of construction as defined in the Minnesota Building Code. (Ord. No. 00-1835, amended 3-16-2000; Ord. No. 00-1876, amended 10-19-2000)
- (b) Any building shall be constructed so that all exterior sides shall be surfaced equivalent to the front building elevation as determined by the Zoning Administrator.
- (c) Exterior wall surfaces of all buildings shall be primarily faced with brick, stone, precast panel, cast-in-place panel, architectural concrete with other permitted materials, or glass.

Use of modern metal paneling materials or its equivalent shall be considered for exterior wall surfaces provided such materials are used in conjunction with other materials listed above. Use of modern

metal paneling materials or its equivalent shall not exceed thirty-five percent (35%) of any individual wall surface.

- (d) The building design should exhibit architectural control which seeks to be creative and maximize building lines, shades, and angles to maximize architectural uniqueness.
- (e) All building design and exterior wall surface materials shall be reviewed and approved by the Zoning Administrator.

**Rogers**

(b) *Building material standards.*

- (1) The following zoning districts have specific building material standards in this Section:
  - a. Local Employment Center.
  - b. Regional Employment Center.
  - c. Industrial.
  - d. Downtown.
- (2) The zoning districts referenced in subsection A(1) of this Section require 75% of the exterior building finish to consist of the following materials:
  - a. Face brick.
  - b. Natural stone.
  - c. Glass.
  - d. Cast stone.
  - e. Cultured stone.
  - f. EIFS.
  - g. Precast concrete units and concrete block provided surfaces are molded, serrated or treated with a textured material to create a three-dimensional character or approved equivalent as determined by the City.
  - h. Other materials may be considered at the discretion of the City Council.

- (3) In the zoning districts referenced in B. Building Material Standards the following materials are allowed so that no more than one-third of the areas of any wall may consist of these materials on an exterior finish:
    - a. Wood, provided surfaces are finished for exterior uses and curtain wall panels of steel, plastic, fiberglass or aluminum provided the wood or panels are factory fabricated.
  - (4) Buildings in the DT zoning district will follow the Downtown Design Guidelines.
- (c) *Prohibited materials.*
- (1) Tin, specifically for roofs and siding.
  - (2) Unadorned plain concrete block.
  - (3) Tilt-up concrete panels.
  - (4) Pre-fabricated steel or sheet metal panels.
  - (5) Reflective glass.

### **Monticello**

(D) *Business district requirements.* In all Business Zoning Districts (see [table 3-1](#)), the following building materials standards shall apply.

- (1) No galvanized or unfinished steel, galvalum, or unfinished aluminum buildings, except those specifically designed to have a corrosive designed finish such as “corten” steel, shall be permitted in the districts listed herein.
- (2) Buildings in these zoning districts shall maintain a high standard of architectural and aesthetic compatibility with conforming surrounding properties to ensure that they will not adversely impact the property values of the abutting properties and shall have a positive impact on the public health, safety, and general welfare, insofar as practicable.
- (3) Exterior building finishes in the districts subject to this section shall consist of materials compatible in grade and quality to the following:

- (a) Brick.
- (b) Natural stone.
- (c) Decorative rock face or concrete block.
- (d) Cast-in-place concrete or pre-cast concrete panels.
- (e) Wood, provided that the surfaces are finished for exterior use and wood of proven exterior durability is used, such as cedar, redwood, or cypress.
- (f) Glass.
- (g) Exterior insulated finish systems, where said system is manufactured to replicate the look of one of the approved building materials in this section.
- (h) Stucco.

(4) Metal exterior finishes shall be permitted only where coordinated into the overall architectural design of the structure, such as in window and door frames, mansard roofs or parapets, and other similar features, and in no case shall constitute more than 15% of the total exterior finish of the building.

(5) *Metal roofing.* Metal shall be an allowed roofing material in the “B”, Business Districts, provided such material is designed to resemble traditional commercial architecture and/or is designed to complement the architectural design of the building.

(6) *Building materials and design for the CCD District.* All buildings within the CCD shall meet the materials and design standards of the Comprehensive Plan as defined by the Downtown Monticello Small Area Plan Amendment, the requirements of the CCD District, as well as the standards in [§ 153.070](#) for Business District requirements. In the case of a conflict between these standards, the stricter of the standards shall be applied.

(E) *Industrial requirements.*

(1) In the Industrial and Business Campus District (IBC), the following building materials and standards shall apply:

(a) Buildings shall maintain a high standard of architectural and aesthetic compatibility with conforming surrounding properties to ensure that they will not adversely impact the property values of the abutting properties and shall have a positive impact on the public health, safety, and general welfare, insofar as practicable.

(b) Exterior building finishes shall not consist of galvanized or unfinished steel, or unfinished aluminum.

(c) Exterior building finishes shall consist of materials compatible in grade and quality to the following:

1. Brick;
2. Natural stone;
3. Decorative rock face block or burnished block;

4. Wood, provided that the surfaces are finished for exterior use and wood of proven exterior durability is used, such as cedar, redwood, or cypress;
5. Glass;
6. Stucco or substantially similar finish product;
7. Exterior insulated finish systems, where said system is manufactured to replicate the look of one of the approved building materials in this section;
8. Cast in place concrete or pre-cast concrete panels.

(d) Metal exterior finishes shall be permitted only where coordinated into the overall architectural design of the structure, such as in window and door frames, mansard roofs or parapets, and other similar features, and in no case shall constitute more than 15% of the total exterior finish of the building.

(e) Any exterior wall adjacent to a public street must have a higher level of aesthetics. This could be accomplished by architectural design features. Increased use of stone and/or brick across 15% of the facade area, combination of glass and architectural metals, or a wall plane articulation across 15% of the facade area. Such articulation must extend at least five feet from the primary building line of the principal building structure.

## **St Francis**

### **10-71-08. - Building type and construction.**

#### **A. *General Provisions.***

1. Steel or Aluminum Buildings: Except in association with farming activities, no galvanized or unfinished steel or unfinished aluminum buildings (walls or roofs), except those specifically intended to have a corrosive designed finish shall be permitted in any zoning district.
2. Architectural and Aesthetic Compatibility: Buildings in all zoning districts shall maintain a high standard of architectural and aesthetic compatibility with surrounding properties to ensure that they will not adversely impact the community's public health, safety and general welfare.

3. Exterior Building Finishes:

- a. Residential Districts. The primary exterior building facade finishes for residential districts shall consist of the materials listed in Table 10-71-1, below, or other, similar materials as determined by the Zoning Administrator.

Exterior Finish	Residential Use	Institutional Use
Brick	Yes	Yes
Concrete composite board	Yes	Yes
Stone (natural or artificial)	Yes	Yes
Integral colored split face (rock face) concrete block	Yes	Yes
Wood, natural or composite, provided the surfaces are finished for exterior use or wood of proven exterior durability is used, such as cedar, redwood, or cypress	Yes	Yes
Stucco (natural or artificial)/EIFS (exterior insulated finish system)	Yes	Yes
Vinyl	Yes	No
Aluminum or steel siding	Yes, provided it has horizontal edges and overlapping sections no wider than 12 inches.	Yes
Cast in place concrete or precast concrete panels	No	Yes
Glass curtain wall panels	No	Yes

- b. Table 10-71-1 Residential District Exterior Façade Finishes.

- c. *Building Foundations.* Building foundations not exceeding two (2) feet and other such portions of a building's facade need not comply with the requirements for the primary facade treatment or materials.

B. *Finishes for Structures in Commercial/Industrial Districts.*

1. *B-1 Central Business District.*

- a. 100 percent of the exterior building finish shall consist of materials comparable in grade and quality to the following: Face brick, natural stone, glass, stucco, specially designed pre-cast concrete units if the surfaces have been integrally treated with an applied decorative material, textured concrete block, or smooth concrete block if scored at least twice, wood, or horizontal lap siding (wood, masonite, steel, aluminum or vinyl).
- b. Baked enamel sheet metal siding shall not be a permitted building material.

2. *B-2 General Business District.*

- a. 100 percent of the exterior building finish for the front wall shall consist of materials comparable in grade and quality to the following: face brick, natural stone, glass, stucco, specially pre-cast concrete units if the surfaces have been integrally treated with an applied decorative material, textured concrete block or smooth concrete block if scored at least twice.
- b. The balance of the building finish may consist of the following wood, horizontal lap siding (wood, Masonite, steel, aluminum or vinyl), or other approved architectural metal siding.
- c. Baked enamel sheet siding shall not be a permitted building material.

3. *BPK Business Park District.*

- a. 100 percent of the exterior building finish for the front wall or a total of 25 percent of all exterior walls shall consists of materials comparable in grade and quality to the following: Face Brick, Natural Stone, Glass, Stucco, Specially designed pre-cast concrete units if the surfaces have been integrally treated with an applied decorative material, textured concrete block, or smooth concrete block if scored at least twice.
- b. The balance of the building finish may consist of the following: wood, horizontal lap siding (wood, Masonite, steel, aluminum, or vinyl), or other approved architectural metal siding.
- c. Baked enamel sheet metal siding shall be a permitted building material but shall not count towards the 25 percent requirement.

4. *I-1, General Industrial District.*

- a. 25 percent of the exterior building finish for the front wall shall consists of material comparable in grade and quality to the to the following: face brick, natural stone, glass, stucco, Specially designed pre-cast concrete units if the surfaces have been integrally treated with an applied decorative material, textured concrete block, or smooth concrete block if scored at least twice.
- b. The balance of the building finish may consist of the following: wood, horizontal lap siding (wood, Masonite, steel, aluminum, or vinyl), or other approved architectural metal siding.
- c. Baked enamel sheet metal siding shall be a permitted building material but shall not count towards the 25 requirement.

5. Within the I-2 Isolated Industrial District, there shall be no limitations on exterior building finishes.

C. *Architectural Standards for Non-Residential and Non-Agricultural Buildings.*

1. Facade Articulation and Details. Buildings shall be designed so that building material, color, or massing changes at least every 60 linear feet for all street facing sides of the building. Massing changes may be accomplished through use of articulation details such as cornices, molding, columns, pilasters, or other ornamentation as well as vertical recess or projections of the wall face.
2. Windows shall be installed at regular intervals along the length of all street-facing building walls.

**Lindstrom**

(8) *Exterior building materials.*

(a) The standards of this section shall apply to the façades of all new buildings, building additions, or building expansions.

(b) Exterior materials shall be divided into the following three classes:

1. Class I shall be considered high-quality building materials that are long-lasting and durable. These materials are considered architecturally desirable and are designed for a typical life expectancy of 40 years or more. Class I materials include:

- a. Full veneer fired clay brick masonry walls;
- b. Thin veneer fired clay brick (adhered);
- c. Full veneer natural stone;
- d. Thin veneer, manufactured, or cast stone (adhered);
- e. Architectural grade cementitious panel rainscreen systems;
- f. Architectural grade ceramic panel rainscreen systems; and
- g. Glass, bird-friendly glass, glass curtain wall, and/or glass cladding systems.

2. Class II shall be considered standard building materials. These materials are considered architecturally desirable and are designed for a typical life expectancy of 20 years or more. Class II materials include:

- a. Exterior grade finished wood;
- b. Masonry stucco;

- c. Metal wall panel systems (insulated or rainscreen assemblies with hidden fasteners). This shall not include metal siding and corrugated or ribbed metal sheets of any type;
- d. Integrally colored textural concrete panels;
- e. Integrally colored specialty concrete block, such as textured, burnished block, or split-face block, or concrete brick; and
- f. Fiber cement lap siding (residential applications).

3. Class III shall be considered lower-cost and trim grade materials. These materials are considered aesthetically inappropriate as a primary building material or are materials which are typically more prone to damage or degradation of quality from weatherization resulting in a typical life expectancy of less than 20 years. Class III materials include:

- a. Vinyl siding or panels;
- b. Painted wood;
- c. Exterior insulation and finish system (EIFS);
- d. Corrugated or ribbed metal wall panels;
- e. Smooth or scored concrete block;
- f. Smooth concrete tilt-up panels;
- g. Fiber cement lap siding or trim (commercial applications);
- h. Translucent wall panel systems; and
- i. Glass block.

(c) Front façades and façades facing a public right-of-way shall be composed of at least 50% Class I materials and no more than 10% Class III materials. Side and rear façades shall be composed of at least 40% Class I materials and no more than 20% Class III materials.

(d) Each façade must utilize a minimum of two types of Class I materials.

(e) Brick or stone exteriors shall not be painted.

(f) Exterior building material regulations shall not apply to single-family homes located within the Central Business District.

(g) The City Council, after receiving a recommendation from the Planning Commission, may approve additional building materials on a case-by-case basis, provided that such materials exhibit the quality and durability desired and do not detract from the aesthetic character of the building and the surrounding area.

(h) Construction shall follow the approved architectural plans. At the discretion of the Zoning Administrator, a request to change up to 5% of the originally approved building materials may be reviewed administratively. Requests for more significant changes, and requests determined

by the Zoning Administrator to need additional review, shall follow the site plan permit process identified in § [151.06.12](#).

### **Princeton**

1. For aesthetic purpose, all buildings and structures shall be faced with the following:
  - a. Face brick;
  - b. Pre-finished metal panels;
  - c. Pre-cast concrete panels;
  - d. Glass and/or curtain wall construction;
  - e. Concrete block may be used alone or in conjunction with other permitted materials or surfaced with stucco, wood, or properly applied masonry paints;
  - f. Plastic panels when combined with modular exposed structural curtain wall systems;
  - g. Other approved materials provided they maintain the integrity of the surrounding structures while meeting the requirements for building materials in the MN-1 Industrial District. Pole type construction must have a site plan review including an architectural design review with the Planning Department Staff and/or Zoning Administrator;
  - h. Windows are required in the front of the building pending planning review and demonstration of need, e.g. security etc;

### **Common Themes and Summary:**

#### **1. Material Quality and Durability**

Most cities require **high-quality, durable, and long-lasting materials** for exterior finishes, especially for facades facing public streets.

- **Commonly accepted materials** include:
  - Brick (face or decorative)
  - Natural or cast stone
  - Stucco or synthetic stucco
  - Precast or architectural concrete
  - Finished wood (cedar, redwood, etc.)
  - Glass
  - Architectural metal (with hidden fasteners or accent use)
- **Prohibited or restricted materials** include:
  - Plain or unadorned concrete block
  - Corrugated or ribbed metal panels

- Vinyl siding (often restricted to residential or disallowed entirely)
- Baked enamel sheet metal
- Agricultural-style or pole-barn construction

## 2. Façade Articulation and Architectural Detail

Cities encourage or require **articulation** in long wall spans and prominent facades to reduce visual monotony.

- Requirements include:
  - Changes in **materials, color, or depth** every 20 to 60 feet
  - Inclusion of **windows**, especially on street-facing sides
  - Use of **columns, pilasters, cornices**, or other architectural details

## 3. Cohesive and Contextual Design

A consistent architectural appearance is expected that complements adjacent buildings and the overall neighborhood character.

- This includes:
  - Matching materials and finishes for **accessory structures**
  - Maintaining a **“small town” or “Main Street” aesthetic** in downtown areas
  - Avoiding materials that **detract from neighboring property values**

## 4. Material Percentages and Façade Composition

Many cities regulate what **percentage of a façade** must consist of premium (Class I) materials.

- Examples:
  - At least **50–75%** of street-facing façades must use Class I or II materials
  - No more than **10–25%** of façades can consist of lower-grade (Class III) materials
  - **Wainscoting** or masonry bases are often required for visual interest and durability

## Comparison Table of Building Standards

City	Primary Materials Allowed	Prohibited Materials	Façade Requirements	Architectural Detailing	Roof/Mechanical Screening
Cambridge	Brick, stone, fiber cement, stucco, precast concrete	Sheet metal, corrugated metal, asbestos, plywood	≥25% detailing for long walls; alley walls must match	Required on walls >20'	Roofing must be architectural-grade
Isanti	Masonry, concrete, glass, finished metal with wainscot	Exposed metal, unapproved wood	Aesthetic compatibility required	Moderate (City Council reviews design)	Required for mechanical units
Hugo	Brick, stone, glass, EIFS, decorative block	Unscreened utilities, bright/glare surfaces	Decorative accents allowed up to 20% façade	Strong screening and design standards	Required (painted, screened)
Wyoming	Brick, stone, wood, fiber cement, architectural metals	Vinyl, corrugated metal, exposed fasteners	≥65% Class I/II; ≤10% Class III (front)	Required on all façades	Required; metal roof allowed with conditions
Blaine	Brick, stone, precast, glass, metal (≤35%)	Poor-quality concrete, excessive metal	Uniform material across all façades	Creative shading/lines encouraged	Noted but not detailed
Rogers	Brick, stone, EIFS, cast stone, precast concrete	Tin, tilt-up, prefabricated metal	75% high-quality materials	Some accent materials allowed	Required
Monticello	Brick, stone, stucco, glass, cast/precast concrete	Unfinished steel/aluminum, galvanized panels	≤15% metal on exterior finish	Strong contextual design requirement	Metal roofs allowed if architectural
St. Francis	Brick, stone, stucco, decorative concrete, lap siding	Baked enamel metal in most cases	≥25% of front wall in approved materials	Façade changes every 60' required	Required
Lindstrom	Class I: Brick, stone, rainscreens, glass	Class III: Vinyl, corrugated metal, EIFS	≥50% Class I (front); ≤10% Class III (front)	Must use ≥2 Class I materials	No painted brick; review needed
Princeton	Brick, precast concrete, pre-finished metal, glass	None specific, but site design review required	Windows required on street-facing walls	Site plan and architectural review	Not specified

## Comparison Summary: North Branch vs. Other Cities

Category	North Branch	Other Cities (Average Trend)
<b>Material Classification</b>	Uses <b>Class I and II</b> system with defined percentages by Zone (65%–50% Class I)	Similar tiered material classes in Lindstrom, Wyoming, and Rogers
<b>Material Requirements</b>	Zones 1 & 2: ≥65% or ≥50% Class I; remainder Class II Zone 3: no % but must use 2 colors/materials	Commonly require ≥50–75% high-quality materials for street-facing facades
<b>Prohibited Materials</b>	Vinyl, exposed metal, pole barns (all Zones); reflective & unfinished metals in Zone 3	Consistent: Most cities prohibit vinyl, corrugated metal, exposed fasteners, and pole barns
<b>Architectural Detailing</b>	Requires cohesive appearance, variation in material/color, facade articulation every side	Most cities require detailing (offsets, windows, color variation) every 20–60 ft
<b>Roofing Standards</b>	Zone 1 & 2: high-quality asphalt, wood, metal Zone 3: finished material with matching fasteners	Roofing standards match those in Cambridge, Wyoming, and Monticello
<b>Windows</b>	Required on ground-level, street-facing walls	Standard in Wyoming, St. Francis, and Lindstrom
<b>Design Consistency</b>	Architectural expression must be consistent on all sides	Consistent with Blaine, Cambridge, and Rogers
<b>Review &amp; Approval</b>	Zoning Admin + Planning Commission/Council approval for exceptions, sides not visible from road	Comparable processes in Isanti, Princeton, Lindstrom
<b>Use of Color</b>	Limits accent colors to ≤5% of wall area	Similar to Wyoming and St. Francis, which discourage “garish” colors
<b>Industrial Exceptions</b>	Allows material leniency for additions ≤75% of original size	Monticello and St. Francis have similar relaxations for industrial/back façades
<b>Theme Requirement</b>	No fixed architectural theme, but seeks <b>small city, professional appearance</b>	Common in Wyoming, Cambridge, and Lindstrom (“Main Street” or “small-town character”)

Requested Action:

Staff is requesting direction for how to proceed with being more flexible in their building standards and to possibly schedule a public hearing. Options for text amendments to the building standards include the following:

- Reconsider Map Zones
- Change allowable percentages of certain zone materials
- Create new zone for industrial park with new materials allowed
- Include text for approval process of materials – Planning Commission/City Council Approval
- Other Planning Commission recommendations



**Prepared By: Nathan Sondrol, Community Development Director**

**Presenter: Nathan Sondrol, Community Development Director**

**Date: 06/23/2025**

**Board & Commission: Planning Commission**

**Subject: Comprehensive Plan Update**

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The City Council discussed the roll-out of the Comprehensive Plan Update at their meeting on April 29, 2025 and held a public input meeting on June 17. Attached are the comments and feedback received.

The Council is looking for continued discussion and input from the commission on the Comprehensive Plan from the Planning Commission as it relates to landuse, housing and transportation.

Below is a link to the 2018 Comprehensive Plan

<https://www.ci.north-branch.mn.us/2018%20North%20Branch%20Comp%20Plan.pdf>

The City Council will be holding a public input meeting on Tuesday July 15 at the North Branch Middle School FTLA conference room.

**Voting Requirements:**

**Voting Options          Simple Majority**

## Comprehensive Plan Review Feedback - 6/17/2025

### Vision:

Small town feel

Keep/add to the vision/values

Strong thriving business community

Inviting business corridor

\*How to lower tax base

\*City leaders should live in North Branch

\* Happy with how North Branch Schools have changed

### Parks:

Please have the restrooms open at Central Park during daylight hours. It is needed

Would like to have the warming house manned during the winter months. No one was e

Would love to see walking trails, adult-children exercise stations, dog park, park

Bike trail down Falcon connected to main trail

Maintain Pollinators area

Maintain Trails

Trail system with the new housing to be connected to the paths to school

### Transportation:

A re-route of Hwy 95 is absolutely necessary. We need to keep semi and camper traf

### Public Safety:

Substation by the waterplant/ecumen for police and fire - Charlie Kloop

Public Safety

### EDA:

Promote Small Businesses

Help promote small business

I have been disappointed with the state of the Tanger Mall for 20 years now, Can we

Encourage new businesses to come in that fit our community

Support and encourage existing small businesses/larger business too.

Remember employees can come from the Cities to work and benefit from going away fro

Let's advertise North Branch Tanger Mall need re-vitalizing with events/food trucks

We need to revitalize big box stores. People used to come from everywhere to Tanger

Promote Small Businesses - not in the camp of big box stores as the focus, needs to

Farmer's Market - wouldn't allow sign, restricted on State Hwy 95 (policy decision

We can have it all on I-35, where is the Walgreen's, Aldi, Home Depot. Need more c

Attract industry

Retail businesses - place to spend \$

Restaurants provide attraction and value to residents

Balanced approach to growth, housing growth needs commercial and industry

Sick of the tire businesses

Housing:

concern with senior housing becoming non-senior long term

How to grow without risk of higher taxes to home owners.

Pro senior living

Pro ADUs for seniors/kids/AB&B

Small homes

Too much storage

Links to housing studying to support new families moving to town.

Like to discuss options for ADUs.

As a North Branch Resident, I feel strongly that there should be a policy/code which

HOAs draw energy away from public involvement

Condensed developments

Housing growth is great, but need a community

d for folks of all ages throughout the day - Ben Hedberg  
ever there, even on the date posted open - Deb and Steve Schmitt  
benches thought Woldridge Park - Sara Wittenbel

ffic away from downtown. It is so dangerout to try to park and to walk and shop.

e please find out how to reinvogoate and fill it up?

om rush hour traffic  
s/signage  
r Mall. We need the revenue from larger businesses, we need to attract people here  
o be blended.  
that doesn't support farmers  
options and variety to broaden the tax base.

ch allows for ADUs in appropriate areas in North Branch

Doing this would bring in more boutiques and other shopping -Sarah Wittenbel

to shop and work. A tech company would draw people in from the City and they can



travel against traffic. Market what we do have better so people know wh

Comprehensive Plan Review tentative dates:

10-Jun-25	City Council
3-Jun-25	Planning Commission
20-May-25	EDA
2-Jun-25	PTOS
17-Jun-25	Open House
24-Jun-25	City Council review of open house
1-Jul-25	Public Safety Committee review
TBD	Public Works Advisory Committee
1-Jul-25	Planning Commission
7-Jul-25	PTOS
8-Jul-25	Chamber Board Meeting
<b>10-Jul-25</b>	<b>Comp Plan Steering Committee</b>
15-Jul-25	EDA
15-Jul-25	Open House
22-Jul-25	City Council review of open house
1-Aug-25	PTOS
2-Aug-25	Planning Commission
12-Aug-25	Chamber Board Meeting
19-Aug-25	EDA
19-Aug-25	Potential Open House #3 if required or all Council/Commi
26-Aug-25	City Council first review of final update materials
2-Sep-25	Planning Commission public hearing on Comp Plan
16-Sep-25	Council work session
14-Oct-25	City Council approval of Comp Plan

TBD - Special work groups for specific needs if required

TBD - Steering Committee review meetings

TBD - NB 1st meeting

TBD - Other outside groups need to be identified by Steering Committee

Completed  
Completed  
Completed  
Completed  
**Completed**

.ssioner meeting



**Prepared By: Ryan Saltis**

**Presenter: Ryan Saltis**

**Date: 06/26/2025**

**Board & Commission: Planning Commission**

**Subject: Upcoming Agenda Items**

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Beach Transport:

Land Use and Design Standards discussion for 39777 Flink Ave. This site is zoned B-Business and is

proposed for an office space and operational site for Beach Transport Inc. The business provides specialized heavy equipment and hauling services for the aggregate transportation sector, supporting road construction and infrastructure development.

Home Occupation/Interim Use Permit - Dog Grooming

A home occupation permit is intended to be submitted for a dog grooming business at 39479 Ash Ct.

Home Occupation and Interim Use Permit criteria for the business will be considered for approval at the

August 5 th Planning Commission Meeting.

Comprehensive Plan

Continued discussion on the update of the Comprehensive Plan

**Voting Requirements:**

**Voting Options**

**Simple Majority**